

SOLITUDE COLORADO RURAL SITE PLAN

PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
RANGE 68 WEST AND PORTIONS OF SECTIONS 19 AND 30 OF
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL
MERIDIAN, DOUGLAS COUNTY, COLORADO
1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
EX00-012

CERTIFICATE OF DEDICATION AND OWNERSHIP

THE UNDERSIGNED, BEING ALL THE OWNERS, MORTGAGEES, BENEFICIARIES OF DEEDS OF TRUST AND HOLDERS OF OTHER INTERESTS IN THE LAND DESCRIBED HEREIN, HAVE LAID OUT SAID LANDS INTO PARCELS, TRACTS AND EASEMENTS AS SHOWN HEREON UNDER THE NAME OF SOLITUDE COLORADO. THE UTILITY EASEMENTS SHOWN HEREON ARE HEREBY DEDICATED FOR PUBLIC UTILITIES AND OTHER PURPOSES AS SHOWN HEREON. THE ENTITIES RESPONSIBLE FOR PROVIDING THE SERVICES FOR WHICH THE EASEMENTS ARE ESTABLISHED ARE HEREBY GRANTED THE PERPETUAL RIGHT OF INGRESS AND EGRESS FROM AND TO ADJACENT PROPERTIES FOR INSTALLATION, MAINTENANCE AND REPLACEMENT OF UTILITY LINES AND RELATED FACILITIES.

LEGAL DESCRIPTION

FOUR (4) PARCELS OF LAND SITUATED IN SECTION 19 AND THE NORTH HALF OF THE NORTH HALF OF SECTION 30, TOWNSHIP 7 SOUTH, RANGE 67 WEST AND THE SOUTHWEST QUARTER OF SECTION 13, SECTION 24 AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SECTION 25, TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, COUNTY OF DOUGLAS, STATE OF COLORADO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER CORNER OF SAID SECTION 24;
THENCE NORTH 00°11'54" WEST, ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24,
A DISTANCE OF 1,320.67 FEET TO A POINT, SAID POINT BEING THE SOUTHEAST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24;
THENCE NORTH 89°38'01" WEST, ALONG THE SOUTHERLY LINE OF SAID NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 24 A DISTANCE OF 1,314.89 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24;
THENCE NORTH 89°38'01" WEST, CONTINUING ALONG SAID SOUTHERLY, A DISTANCE OF 656.62 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF STATE HIGHWAY 105;
THENCE NORTH 32°29'01" WEST, ALONG SAID EASTERLY RIGHT-OF-WAY LINE, A DISTANCE OF 71.45 FEET TO A POINT;
THENCE SOUTH 89°36'01" EAST, 60.00 FEET NORTH OF AND PARALLEL WITH THE SOUTHERLY LINE OF THE NORTH HALF OF THE SOUTHWEST QUARTER, A DISTANCE OF 710.35 FEET TO A POINT;
THENCE NORTH 00°28'10" WEST, 15.85 FEET EAST OF AND PARALLEL WITH THE WESTERLY LINE OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 24, A DISTANCE OF 1,251.73 FEET TO A POINT;
THENCE NORTH 00°28'53" WEST, 15.85 FEET EAST OF AND PARALLEL WITH THE WESTERLY LINE OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 24, A DISTANCE OF 1,018.53 FEET TO A POINT;
THENCE NORTH 89°47'04" EAST A DISTANCE OF 1,309.38 FEET TO A POINT ON THE WESTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 24;
THENCE NORTH 00°11'54" WEST, ALONG SAID WESTERLY LINE, A DISTANCE OF 1,802.28 FEET TO A POINT, SAID POINT BEING THE NORTH QUARTER CORNER OF SAID SECTION 24;
THENCE NORTH 00°14'04" WEST, ALONG THE WESTERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 92.14 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE FOR THE ATCHISON, TOPEKA & SANTA FE RAILROAD AND A POINT OF NON-TANGENT CURVATURE;
THENCE ALONG SAID SOUTHERLY RAILROAD RIGHT-OF-WAY LINE THE FOLLOWING ELEVEN (11) COURSES:
1. ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 02°53'41", A RADIUS OF 5,829.58 FEET, AN ARC LENGTH OF 294.53 FEET (CHORD BEARS SOUTH 72°18'34" EAST, 294.50 FEET) TO A POINT ON THE NORTHERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 24;
2. NORTH 89°27'30" EAST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 180.82 FEET TO A POINT;
3. SOUTH 76°02'30" EAST A DISTANCE OF 3,819.90 FEET TO A POINT OF CURVATURE;
4. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 08°11'30", A RADIUS OF 4,330.00 FEET AND AN ARC LENGTH OF 619.07 FEET (CHORD BEARS SOUTH 71°57'11" EAST, 618.53 FEET) TO A POINT;
5. SOUTH 67°51'26" EAST A DISTANCE OF 2,192.16 FEET TO A POINT OF CURVATURE;
6. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 29°16'49", A RADIUS OF 1,921.00 FEET AND AN ARC LENGTH OF 681.85 FEET (CHORD BEARS SOUTH 53°13'05" EAST, 971.00 FEET) TO A POINT ON THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 19;
7. SOUTH 88°41'41" WEST, ALONG SAID SOUTHERLY LINE, A DISTANCE OF 63.33 FEET TO A POINT OF NON-TANGENT CURVATURE;
8. ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 05°11'13", A RADIUS OF 1,871.00 FEET, AN ARC LENGTH OF 169.38 FEET (CHORD BEARS SOUTH 37°09'35" EAST, 169.32 FEET) TO A POINT;
9. SOUTH 34°33'59" EAST A DISTANCE OF 346.19 FEET TO A POINT OF CURVATURE;
10. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 01°08'08", A RADIUS OF 4,380.00 FEET AND AN ARC LENGTH OF 86.61 FEET (CHORD BEARS SOUTH 35°08'03" EAST, 86.61 FEET) TO A POINT;
11. SOUTH 35°42'07" EAST A DISTANCE OF 251.72 FEET TO A POINT ON THE EASTERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 19;
THENCE SOUTH 00°03'01" WEST, ALONG THE EASTERLY LINE OF SAID SECTION 19, A DISTANCE OF 2,008.87 FEET TO A POINT, SAID POINT BEING THE SOUTHEAST CORNER OF SAID SECTION 19;
THENCE SOUTH 00°08'48" EAST, ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 30, A DISTANCE OF 1,334.62 FEET TO A POINT, SAID POINT BEING THE SOUTHEAST CORNER OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 30;
THENCE SOUTH 89°34'48" WEST, ALONG THE SOUTHERLY LINE OF THE NORTH HALF OF THE NORTH HALF OF SAID SECTION 30, A DISTANCE OF 5,227.34 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 30;
THENCE NORTH 89°56'42" WEST, ALONG THE SOUTHERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 25, A DISTANCE OF 1,362.16 FEET TO A POINT, SAID POINT BEING THE SOUTHWEST CORNER OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 25;
THENCE NORTH 00°49'17" WEST, ALONG THE WESTERLY LINE OF THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER OF SAID SECTION 25, A DISTANCE OF 1,324.07 FEET TO A POINT;
THENCE NORTH 89°53'30" WEST, ALONG THE SOUTHERLY LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 24, A DISTANCE OF 1,373.19 FEET TO THE POINT OF BEGINNING.

CONTAINING 45,509,662 SQUARE FEET OR 1,044.76 ACRES, MORE OR LESS.

THE LEGAL DESCRIPTION IS CONTINUED ON SHEET 2 OF 14.

OWNER

CHEROKEE KOELBEL, LLC, A DELAWARE LIMITED LIABILITY COMPANY
BY: KOELBEL AND COMPANY, A COLORADO CORPORATION, ITS MANAGER

BY: Walter B. Koelbel, Jr.
Walter B. Koelbel, Jr., President

STATE OF COLORADO)
) SS.
COUNTY OF Denver

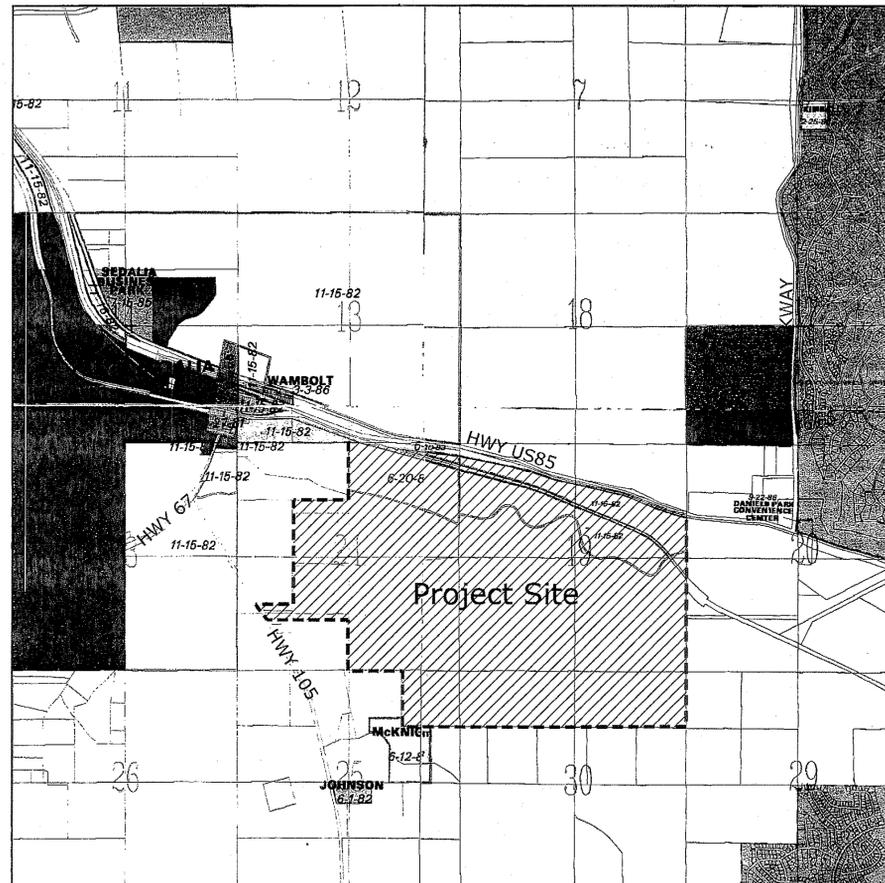
ON May 10, 2004, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID STATE, PERSONALLY APPEARED Walter B. Koelbel, Jr., President OF KOELBEL AND COMPANY, A COLORADO CORPORATION, AS MANAGER OF CHEROKEE KOELBEL, LLC, A DELAWARE LIMITED LIABILITY COMPANY, PERSONALLY KNOWN TO ME (OR PROVED TO ME ON THE BASIS OF SATISFACTORY EVIDENCE) TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE WITHIN INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME IN HIS AUTHORIZED CAPACITY, AND THAT BY HIS SIGNATURE ON THE INSTRUMENT THE PERSON, OR THE ENTITY UPON BEHALF OF WHICH THE PERSON ACTED, EXECUTED THE INSTRUMENT.

WITNESS MY HAND AND OFFICIAL SEAL

MY COMMISSION EXPIRES 09/12/04



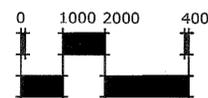
Suzanne K. Hebb
NOTARY PUBLIC IN AND FOR SAID STATE



VICINITY MAP



NORTH



SCALE IN FEET

TITLE VERIFICATION

I, Steve B. Wright, AN ATTORNEY AT LAW, DO HEREBY CERTIFY THAT I HAVE EXAMINED TITLE INSURANCE COMMITMENT NO. 1388126, DATED March 19, 2004, AND COPIES OF THE RECORDED INSTRUMENTS REFERENCED IN THAT COMMITMENT. IN MY OPINION TITLE TO THE LAND LAID OUT AND DIVIDED HEREIN IS IN THE OWNER, SUBJECT TO EASEMENTS, RESERVATIONS, AND RESTRICTIONS OF RECORD, TAXES FOR THE CURRENT YEAR. March 19, 2004 ** of Colorado, Inc.

Steve B. Wright May 3, 2004
ATTORNEY AT LAW DATE
8547
REGISTRATION #

EXEMPTION

THIS EXEMPTION WAS APPROVED BY THE DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS ON September 19, 2004
MOTION # M-002-193

APPROVED FOR RECORDATION BY: Shelley A. Pridmore 1-7-05
DIRECTOR OF COMMUNITY DEVELOPMENT DATE

DOUGLAS COUNTY APPROVAL CERTIFICATE

THIS RURAL SITE PLAN IS COMPLETE AND IN ACCORDANCE WITH DOUGLAS COUNTY REGULATIONS.

James H. Johnson 5/21/04
ENGINEERING DIVISION DATE
Mark Knight 1/10/05
PLANNING DIVISION DATE

BUILDING PERMITS MAY BE ISSUED PURSUANT TO THIS PLAN, AS NOTED HEREON. A GRADING PERMIT IS REQUIRED PRIOR TO ROAD/DRIVEWAY CONSTRUCTION.

SURVEYORS CERTIFICATE

I, GEORGE G. SMITH, JR., A DULY REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THIS EXEMPTION PLAT TRULY AND CORRECTLY REPRESENTS THE RESULTS OF A SURVEY MADE ON March 15, 2004 BY ME OR UNDER MY DIRECT SUPERVISION AND THAT ALL MONUMENTS EXIST AS SHOWN HEREON; THAT MATHEMATICAL CLOSURE ERRORS ARE LESS THAN 1:50,000 (SECOND ORDER); AND THAT SAID PLAT HAS BEEN PREPARED IN FULL COMPLIANCE WITH ALL APPLICABLE LAWS OF THE STATE OF COLORADO DEALING WITH MONUMENTS, SUBDIVISIONS OR SURVEYING OF LAND AND ALL APPLICABLE PROVISIONS OF THE DOUGLAS COUNTY SUBDIVISION REGULATIONS.

I ATTEST THE ABOVE ON THIS 4th DAY OF May, 2004.

George G. Smith, Jr.
GEORGE G. SMITH, JR.
P.L.S. 19003
FOR AND ON BEHALF OF:
HARRIS KOCHER SMITH
1381 SPEER BLVD., SUITE 390
DENVER, CO 80204
(303)823-6300



CLERK AND RECORDER CERTIFICATE

STATE OF COLORADO
COUNTY OF DOUGLAS
I HEREBY CERTIFY THAT THIS EXEMPTION WAS FILED IN MY OFFICE ON THIS DAY OF January, 2005
A.D., AT 11:36 A.M., AND WAS RECORDED AT RECEPTION NUMBER 2005004587

Tulayna Poon-Choyntz
DOUGLAS COUNTY CLERK AND RECORDER



SHEET INDEX

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APPLICANT:
CHEROKEE KOELBEL, LLC.
5291 EAST YALE AVENUE
DENVER, COLORADO 80222

PLANNER:
DHM DESIGN CORPORATION
1390 LAWRENCE ST., SUITE 100
DENVER, COLORADO 80204

ENGINEER/SURVEYOR:
KIRKHAM MICHAEL
5600 S. QUEBEC STREET
SUITE 2000
ENGLEWOOD, COLORADO 80111

WILDLIFE BIOLOGIST:
ERO RESOURCES
1842 CLARKSON STREET
DENVER, COLORADO 80218

WETLANDS CONSULTANT:
WESTERN ECOLOGICAL
RESOURCES
711 WALNUT STREET
BOULDER, COLORADO 80302

SOLITUDE COLORADO RURAL SITE PLAN COVER SHEET

DATE: MAY 31, 2001
REV: OCTOBER 30, 2001
REV: JUNE 10, 2002
REV: AUGUST 23, 2002
REV: SEPTEMBER 9, 2002
REV: MARCH 15, 2004
REV: APRIL 12, 2004

SOLITUDE COLORADO RURAL SITE PLAN

PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
RANGE 68 WEST AND PORTIONS OF SECTIONS 19 AND 30 OF
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL
MERIDIAN, DOUGLAS COUNTY, COLORADO
1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
EX00-012

LEGAL DESCRIPTION (CONT.)

TOGETHER WITH:

COMMENCING AT THE SOUTH QUARTER CORNER OF SAID SECTION 13;

THENCE NORTH 00°14'04" WEST, ALONG THE WEST LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 13, A DISTANCE OF 307.71 FEET TO A POINT ON THE NORTHERLY LINE OF THE DENVER & RIO GRANDE RAILROAD RIGHT-OF-WAY AND THE POINT OF BEGINNING;
THENCE NORTH 00°14'04" WEST, ALONG SAID WEST LINE, A DISTANCE OF 154.70 FEET TO THE SOUTHERLY RIGHT-OF-WAY OF STATE HIGHWAY 85 AS DESCRIBED AT RECEPTION NO.2003027204 OF THE OFFICIAL RECORD OF DOUGLAS COUNTY;
THENCE ALONG SAID SOUTHERLY RIGHT-OF-WAY THE FOLLOWING THREE (3) COURSES:
1. SOUTH 71°30'08" EAST, A DISTANCE OF 14.60 FEET;
2. SOUTH 81°49'53" EAST, A DISTANCE OF 83.71 FEET;
3. SOUTH 71°30'25" EAST, A DISTANCE OF 261.54 FEET;
THENCE SOUTH 18°30'04" WEST, A DISTANCE OF 142.51 FEET TO A POINT OF NON-TANGENT CURVATURE, SAID POINT ALSO BEING ON THE NORTHERLY LINE OF SAID RAILROAD RIGHT-OF-WAY;
THENCE ALONG SAID NORTHERLY RIGHT-OF-WAY LINE BEING THE ARC OF SAID NON-TANGENT CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 06°24'53", A RADIUS OF 2,765.00 FEET, AN ARC LENGTH OF 309.56 FEET (CHORD BEARS NORTH 75°01'39" WEST, 309.40 FEET) TO THE POINT OF BEGINNING.

CONTAINING 51,385 SQUARE FEET OR 1.18 ACRES, MORE OR LESS.

TOGETHER WITH:

BEGINNING AT THE NORTHEAST CORNER OF SAID SECTION 24;
THENCE SOUTH 00°23'11" EAST, ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 24, A DISTANCE OF 28.45 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE FOR STATE HIGHWAY 85;
THENCE NORTH 83°17'39" WEST, ALONG SAID NORTHERLY RIGHT-OF-WAY LINE, A DISTANCE OF 225.53 FEET TO A POINT ON THE NORTHERLY LINE OF NORTHEAST QUARTER OF SAID SECTION 24;
THENCE NORTH 89°27'30" EAST, ALONG SAID NORTHERLY LINE, A DISTANCE OF 223.81 FEET TO THE POINT OF BEGINNING.

CONTAINING 3,184 SQUARE FEET OR 0.07 ACRES, MORE OR LESS.

TOGETHER WITH:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 19;
THENCE SOUTH 00°03'28" WEST, ALONG THE EASTERLY LINE OF THE NORTHEAST QUARTER OF SAID SECTION 19, A DISTANCE OF 1,739.24 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 00°03'28" WEST, CONTINUING ALONG SAID EASTERLY LINE, A DISTANCE OF 804.01 FEET TO A POINT;
THENCE SOUTH 00°03'01" WEST A DISTANCE OF 600.00 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY LINE FOR THE ATCHISON, TOPEKA & SANTE FE RAILROAD;
THENCE ALONG SAID NORTHERLY RAILROAD RIGHT-OF-WAY THE FOLLOWING SIX (6) COURSES:
1. NORTH 35°42'07" WEST A DISTANCE OF 85.79 FEET TO A POINT;
2. NORTH 34°33'59" WEST A DISTANCE OF 387.62 FEET TO A POINT OF CURVATURE;
3. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 33°17'27", A RADIUS OF 2,021.00 FEET AND AN ARC LENGTH OF 1,174.27 FEET (CHORD BEARS NORTH 51°12'43" WEST, 1,157.83 FEET) TO A POINT;
4. NORTH 67°51'26" WEST A DISTANCE OF 2,192.10 FEET TO A POINT OF CURVATURE;
5. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 08°11'30", A RADIUS OF 4,430.00 FEET AND AN ARC LENGTH OF 633.36 FEET (CHORD BEARS NORTH 71°57'11" WEST, 632.82 FEET) TO A POINT;
6. NORTH 76°02'56" WEST A DISTANCE OF 3,076.32 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE FOR THE DENVER RIO GRANDE RAILROAD;
THENCE ALONG SAID SOUTHERLY RAILROAD RIGHT-OF-WAY THE FOLLOWING THIRTEEN (13) COURSES:
1. SOUTH 83°18'47" EAST A DISTANCE OF 279.37 FEET TO A POINT;
2. SOUTH 83°28'04" EAST A DISTANCE OF 1,255.30 FEET TO A POINT;
3. NORTH 06°31'56" EAST A DISTANCE OF 40.00 FEET TO A POINT;
4. SOUTH 83°28'04" EAST A DISTANCE OF 853.62 FEET TO A POINT OF CURVATURE;
5. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 16°05'59", A RADIUS OF 2,024.00 FEET AND AN ARC LENGTH OF 568.73 FEET (CHORD BEARS SOUTH 75°25'04" EAST, 566.86 FEET) TO A POINT;
6. SOUTH 67°22'05" EAST A DISTANCE OF 411.15 FEET TO A POINT OF CURVATURE;
7. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 11°00'36", A RADIUS OF 3,076.00 FEET AND AN ARC LENGTH OF 591.09 FEET (CHORD BEARS SOUTH 72°52'23" EAST, 590.17 FEET) TO A POINT;
8. SOUTH 78°22'41" EAST A DISTANCE OF 1,155.54 FEET TO A POINT OF CURVATURE;
9. ALONG THE ARC OF SAID CURVE TO THE RIGHT HAVING A CENTRAL ANGLE OF 12°09'47", A RADIUS OF 2,837.00 FEET AND AN ARC LENGTH OF 602.25 FEET (CHORD BEARS SOUTH 72°17'47" EAST, 601.12 FEET) TO A POINT;
10. SOUTH 66°12'54" EAST A DISTANCE OF 387.61 FEET TO A POINT OF CURVATURE;
11. ALONG THE ARC OF SAID CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 15°00'35", A RADIUS OF 2,700.00 FEET AND AN ARC LENGTH OF 707.32 FEET (CHORD BEARS SOUTH 73°43'11" EAST, 705.29 FEET) TO A POINT;
12. NORTH 12°54'01" EAST A DISTANCE OF 25.07 FEET TO A POINT OF NON-TANGENT CURVATURE;
13. ALONG THE ARC OF SAID NON-TANGENT CURVE TO THE LEFT HAVING A CENTRAL ANGLE OF 03°53'26", A RADIUS OF 2,675.00 FEET, AN ARC LENGTH OF 181.64 FEET (CHORD BEARS SOUTH 83°12'31" EAST, 181.61 FEET) TO THE POINT OF BEGINNING.

CONTAINING 2,794,308 SQUARE FEET OR 64.15 ACRES, MORE OR LESS.

THE FOUR (4) PARCELS TOGETHER CONTAINING A TOTAL OF 48,358,539 SQUARE FEET OR 1,110.16 ACRES, MORE OR LESS.

PARCELS TOTALING 0.76 ACRES IN SIZE WERE INCLUDED IN THE TOTAL AREA OF THE PROJECT WHEN CALCULATING THE DENSITY BONUS FOR THIS PROJECT. THOSE PARCELS WERE ACQUIRED AS RIGHT-OF-WAY BY THE COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) ON JUNE 5, 2003, SUBSEQUENTLY TO THE APPROVAL OF THIS RURAL SITE PLAN BY THE DOUGLAS COUNTY BOARD OF COUNTY COMMISSIONERS.

GENERAL NOTES

- ALL INTERNAL ROADS ARE PRIVATE AND WILL BE CONSTRUCTED TO DOUGLAS COUNTY ROAD SPECIFICATIONS AND/OR AS APPROVED BY DOUGLAS COUNTY. TRACTS H, N AND O, NOT DESCRIBED IN THE CONSERVATION EASEMENT, ACCESS/UTILITY EASEMENTS AND STREETS SHALL BE MAINTAINED BY THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION, INC. UNLESS AND TO THE EXTENT THAT SUCH MAINTENANCE OBLIGATIONS ARE ASSUMED BY A TITLE 32 METROPOLITAN DISTRICT.
- THE COMMUNITY AREA(TRACT H), PONDS, PRIVATE RECREATIONAL TRAILS, ENTRY MONUMENTS, COMMON AREA LANDSCAPE AND ALL TRACTS SHALL BE MAINTAINED BY THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION, INC. UNLESS AND TO THE EXTENT THAT SUCH MAINTENANCE OBLIGATIONS ARE ASSUMED BY A TITLE 32 METROPOLITAN DISTRICT.
- ALL HOMES ARE REQUIRED TO INCLUDE AN AUTOMATIC SPRINKLER SYSTEM FOR FIRE PROTECTION.
- BUILDING ENVELOPES ARE ESTABLISHED ON RESIDENTIAL PARCELS TO:
A. PROTECT THE VISUAL CHARACTER OF THE SITE AS SEEN FROM BOTH WITHIN AND FROM OUTSIDE OF THE SITE
B. PROVIDE OPEN SPACE
C. MAINTAIN OR ENHANCE WILDLIFE HABITAT AND MOVEMENT CORRIDORS
D. PRESERVE STEEP SLOPES, ROCK OUTCROPPINGS, RIPARIAN AREAS, NATIVE VEGETATION AND OTHER SENSITIVE AREAS.
E. CONTROL PRIVATE FENCING BY CONTAINING IT WITHIN THE BUILDING ENVELOPE.
- ADJUSTMENTS TO BUILDING ENVELOPES WILL BE PROCESSED BY THE COUNTY AS RURAL SITE PLAN AMENDMENTS. THE COUNTY WILL NOT CONSIDER APPROVAL OF A BUILDING ENVELOPE ADJUSTMENT UNLESS IT IS DEMONSTRATED THAT THE ADJUSTMENT WOULD NOT COMPROMISE EITHER THE PURPOSE OF THE BUILDING ENVELOPES OR THE INTENT AND REVIEW CRITERIA FOR RURAL SITE PLANS AS STATED IN THE DOUGLAS COUNTY ZONING RESOLUTION, AS AMENDED.
- NO STRUCTURES OR IMPROVEMENTS, INCLUDING POOLS AND SPAS, WILL BE ALLOWED OUTSIDE THE BUILDING ENVELOPES, EXCLUDING RETAINING WALLS TO FACILITATE ACCESS, DRIVEWAYS, ADDRESS MONUMENTS, PLANT MATERIALS AND OTHER IMPROVEMENTS OF SIMILAR CHARACTER AND IMPACT AS DETERMINED BY THE DIRECTOR OF COMMUNITY DEVELOPMENT.
- A DEED OF CONSERVATION EASEMENT IN GROSS SHALL BE GRANTED TO AND MONITORED BY THE DOUGLAS COUNTY LAND CONSERVANCY. TRACTS A-G, I-M AND P SHALL BE SUBJECT TO THE CONSERVATION EASEMENT.
- TRACT H SHALL BE USED FOR COMMUNITY RECREATIONAL PURPOSES INCLUDING BUT NOT LIMITED TO HORSE STABLES, POND, VINEYARDS AND SIMILAR USES AND WILL BE OWNED AND MAINTAINED BY THE SOLITUDE COLORADO HOMEOWNERS ASSOCIATION, INC. AND SHALL NOT BE USED FOR THE DEVELOPMENT OF RESIDENTIAL PARCELS.
- ALL DEVELOPMENT SHALL COMPLY WITH THE SOLITUDE COLORADO DESIGN STANDARDS AND GUIDELINES (SEE SHEET 14 OF 14). THE DESIGN STANDARDS AND GUIDELINES WILL BE ENFORCED BY THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION, INC. THROUGH DECLARATIONS OF COVENANTS, CONDITIONS AND RESTRICTIONS.
- THE AMOUNT OF LIMITED LANDSCAPING PER PARCEL SHALL BE IN CONFORMANCE WITH THE SOLITUDE COLORADO DESIGN STANDARDS AND GUIDELINES (SEE SHEET 14 OF 14).
- ALL PRIVATE FENCING SHALL BE LIMITED TO, AND PERMITTED ONLY WITHIN INDIVIDUAL BUILDING ENVELOPES.
- PERIMETER FENCING ALONG THE PARCEL LINES IS NOT PERMITTED. THE EXCEPTION BEING THAT THE EXISTING PERIMETER FENCING ON THE PROJECT BOUNDARY IS PERMITTED.
- FENCING SHALL BE PROHIBITED ON THE OPEN SPACE TRACTS EXCEPT FOR THE PURPOSE OF SECURING UTILITIES, TRACT H, AND GRAZING AREAS. ANY NEW FENCING WITHIN THE GRAZING AREAS SHALL BE WILDLIFE FRIENDLY. EXISTING FENCING ON THE PROJECT BOUNDARY WILL CONTINUE TO BE PERMITTED.
- ALL FENCING SHALL BE WILDLIFE FRIENDLY WITH THE EXCEPTION OF FENCING ENCLOSING UTILITIES, WITHIN TRACT H COMMUNITY AREA AND THE BUILDING ENVELOPE OF A PARCEL THAT MAY BE REQUIRED TO ENCLOSE SPORT/TENNIS COURTS, POOLS AND/OR PRIVACY AREAS.
- THE BUILDING HEIGHT SHALL NOT EXCEED THIRTY-FIVE (35) FEET. SEE SHEET 14 OF 14 FOR SPECIFIC HEIGHT REQUIREMENTS FOR PARCEL S3. THE BASE ELEVATION FOR THE HEIGHT RESTRICTION SHALL BE THE AVERAGE ELEVATION OF THE FOUR MAIN CORNERS OF THE PROPOSED STRUCTURE PRIOR TO ANY NATURAL GRADE DISTURBANCE. NO PORTION OF ANY STRUCTURE, INCLUDING WALLS, PARAPETS, CORNICES ETC. MAY EXCEED THE HEIGHT LIMIT. CHIMNEYS AND VENTS ARE EXCLUDED FROM THIS HEIGHT LIMITATION.
- ONE (1) PRINCIPAL DWELLING UNIT SHALL BE ALLOWED PER PARCEL. NO GUESTHOUSES OR CARETAKER RESIDENCES SHALL BE PERMITTED ON ANY PARCEL.
- THE RURAL SITE PLAN IMPROVEMENT AGREEMENT SHALL CONTAIN A PROVISION REQUIRING A CLASS II CULTURAL SURVEY OF THE PROPERTY.
- ALL OPEN SPACE AREAS THAT WILL BE SUBJECT TO THE CONSERVATION EASEMENT SHALL BE AVAILABLE TO THE COUNTY FOR NON-INTRUSIVE ARCHAEOLOGICAL SURVEYS, IF REQUESTED.
- WHENEVER ANY EXCAVATION WITHIN THE SOLITUDE COLORADO PROPERTY UNCOVERS ANY MATERIAL THAT MAY BE OF ARCHAEOLOGICAL OR PALEONTOLOGICAL SIGNIFICANCE, THE EXCAVATION SHALL CEASE, AND THE PARTY CONDUCTING THE EXCAVATION SHALL CONDUCT AN ARCHAEOLOGICAL OR PALEONTOLOGICAL EVALUATION IN CONSULTATION WITH THE COLORADO OFFICE OF ARCHAEOLOGY AND HISTORIC PRESERVATION.
- ALL PRIVATE RECREATIONAL TRAILS ALLOW PEDESTRIAN, BICYCLE AND EQUESTRIAN ACTIVITY FOR RESIDENTS AND GUESTS OF THE SOLITUDE COLORADO COMMUNITY ONLY.
- A SEPARATE, PUBLIC USE, TRAIL ALONG THE EAST PLUM CREEK CORRIDOR MAY BE PERMITTED THROUGH TRACTS D AND E AT A LOCATION MUTUALLY AGREED UPON BETWEEN THE OWNER, DOUGLAS COUNTY AND THE DOUGLAS COUNTY LAND CONSERVANCY.

GENERAL NOTES (CONT.)

- THIS PROPERTY SHALL BE AFFECTED BY THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR SOLITUDE COLORADO TO BE RECORDED WITHIN THE RECORDS OF THE CLERK AND RECORDERS OFFICE OF DOUGLAS COUNTY IMMEDIATELY FOLLOWING THE RECORDING OF THIS RURAL SITE PLAN.
- MAINTENANCE ACCESS SHALL BE PROVIDED TO ALL STORM DRAINAGE FACILITIES TO ASSURE CONTINUOUS OPERATIONAL CAPABILITY OF THE SYSTEM. THE PROPERTY OWNER, UNLESS AND TO THE EXTENT THAT SUCH MAINTENANCE OBLIGATIONS ARE ASSUMED BY A TITLE 32 METROPOLITAN DISTRICT, SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE FACILITIES INCLUDING INLETS, PIPES, CULVERTS, CHANNELS, DITCHES, HYDRAULIC STRUCTURES, AND DETENTION BASINS LOCATED ON THEIR LAND UNLESS MODIFIED BY THE RURAL SITE PLAN IMPROVEMENT AGREEMENT. ALL SUCH MAINTENANCE COSTS WILL BE ASSESSED TO THE PROPERTY OWNER, AND WILL BE THE OBLIGATION OF THE PROPERTY OWNER.
- THE COUNTY SHALL HAVE A LICENSE TO ENTER TRACT E AT REASONABLE TIMES AND UPON 48 HOURS NOTICE TO OWNER FOR THE PURPOSE OF STUDYING THE PREBLE'S MEADOW JUMPING MOUSE AND ITS HABITAT.
- ALL DRAINAGE EASEMENTS SHOWN HEREON ARE DEDICATED TO, AND SHALL BE MAINTAINED BY, THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION INC. UNLESS AND TO THE EXTENT THAT SUCH MAINTENANCE OBLIGATIONS ARE ASSUMED BY A TITLE 32 METROPOLITAN DISTRICT.
- ALL ACCESS AND ROADWAY EASEMENTS SHOWN HEREON ARE DEDICATED TO, AND SHALL BE MAINTAINED BY, THE SOLITUDE HOMEOWNER'S ASSOCIATION INC.
- THE EMERGENCY ACCESS EASEMENT SHOWN HEREON IS DEDICATED TO THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION INC. FOR THE PURPOSES OF PROVIDING ACCESS TO EMERGENCY VEHICLES, AUTHORIZED PERSONNEL, A TITLE 32 METROPOLITAN DISTRICT, THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION INC. AND THE RAIL ROADS.
- EACH PARCEL SHALL HAVE AN INDIVIDUAL SEWAGE DISPOSAL SYSTEM WHICH SHALL BE REVIEWED AND APPROVED BY THE SOLITUDE COLORADO DESIGN REVIEW COMMITTEE.
- OWNER HAS PROPOSED THE FORMATION OF TITLE 32 METROPOLITAN DISTRICT TO BE KNOWN AS SOLITUDE METROPOLITAN DISTRICT. THE SOLITUDE METROPOLITAN DISTRICT WOULD PROVIDE A CENTRALIZED WATER SYSTEM FOR FURNISHING POTABLE WATER TO THE PARCELS AND THE PROPERTY. A PETITION HAS BEEN FILED BY THE PETITIONERS FOR THE PROPOSED SOLITUDE METROPOLITAN DISTRICT REQUESTING THE GRANTING OF AN APPEAL FROM THE STRICT REQUIREMENTS OF SECTION 1808A.02.08 OF THE DOUGLAS COUNTY ZONING RESOLUTION. IF THE APPEAL IS NOT GRANTED, THE SOLITUDE METROPOLITAN DISTRICT WILL NOT BE FORMED AND EACH PARCEL SHALL BE ALLOWED TO CONSTRUCT AN INDIVIDUAL WELL IN ACCORDANCE WITH STATE OF COLORADO REGULATIONS AND REQUIREMENT. IF INDIVIDUAL WELLS ARE LOCATED AND CONSTRUCTED ON PARCELS, THEY MAY BE LOCATED AND CONSTRUCTED ANYWHERE WITHIN THE PARCEL, INCLUDING OUTSIDE THE BUILDING ENVELOPE. IF THE APPEAL IS GRANTED, THE SERVICE PLAN FOR THE SOLITUDE METROPOLITAN DISTRICT IS APPROVED AS SUBMITTED AND THE SOLITUDE METROPOLITAN DISTRICT IS FORMED, POTABLE WATER SHALL BE PROVIDED TO PARCELS THROUGH A CENTRALIZED WATER SYSTEM AND NOT THROUGH INDIVIDUAL WELLS FOR EACH PARCEL.
- BASIS OF BEARINGS:** BEARINGS ARE BASED ON THE EAST LINE OF THE WEST HALF OF SECTION 24 TOWNSHIP 7 SOUTH, RANGE 68 WEST OF THE 6TH PRINCIPAL MERIDIAN, AS MONUMENTED BY A 2" ALUMINUM CAP STAMPED P.L.S. 5112 AT THE NORTH QUARTER CORNER AND A 2" ALUMINUM CAP STAMPED P.L.S. 24968 AT THE SOUTH QUARTER CORNER OF SAID SECTION 24, BEARING NORTH 00°11'54" WEST.

DENSITY STATEMENT

THE DENSITY OF 64 UNITS HAS BEEN ALLOCATED TO 64 PARCELS. FURTHER SUBDIVISION IS NOT PERMITTED BY ZONING.

INTERNAL PRIVATE ROAD NOTE

ALL INTERNAL ROADS ARE PRIVATE. MAINTENANCE IS THE RESPONSIBILITY OF THE SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION, INC. THE COUNTY WILL NOT PLOW SNOW FROM, OR REPAIR THE SURFACE OF SUCH ROADS. THE SCHOOL DISTRICT WILL NOT PROVIDE BUS SERVICE.

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ENGLEWOOD, COLORADO 80111

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SOLITUDE COLORADO
RURAL SITE PLAN
COVER SHEET

SOLITUDE COLORADO RURAL SITE PLAN

PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
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THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY THE SURVEYOR TO DETERMINE OWNERSHIP OR EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY AND TITLE OF RECORD, THE SURVEYOR RELEASING THIS COMMITMENT FOR TITLE INSURANCE COMMITMENT NO. 1388126 ISSUED BY CHICAGO TITLE OF COLORADO, INC. AND HAVING AN EFFECTIVE DATE OF MARCH 11, 2004 AT 7:30 A.M.

THE SURVEYED PROPERTY IS SUBJECT TO THE TERMS, PROVISIONS, COVENANTS, CONDITIONS, RESTRICTIONS, OBLIGATIONS AND RESERVATIONS CONTAINED IN THE FOLLOWING RECORDED DOCUMENTS IN THE TITLE COMMITMENT AS REFERENCED ABOVE.

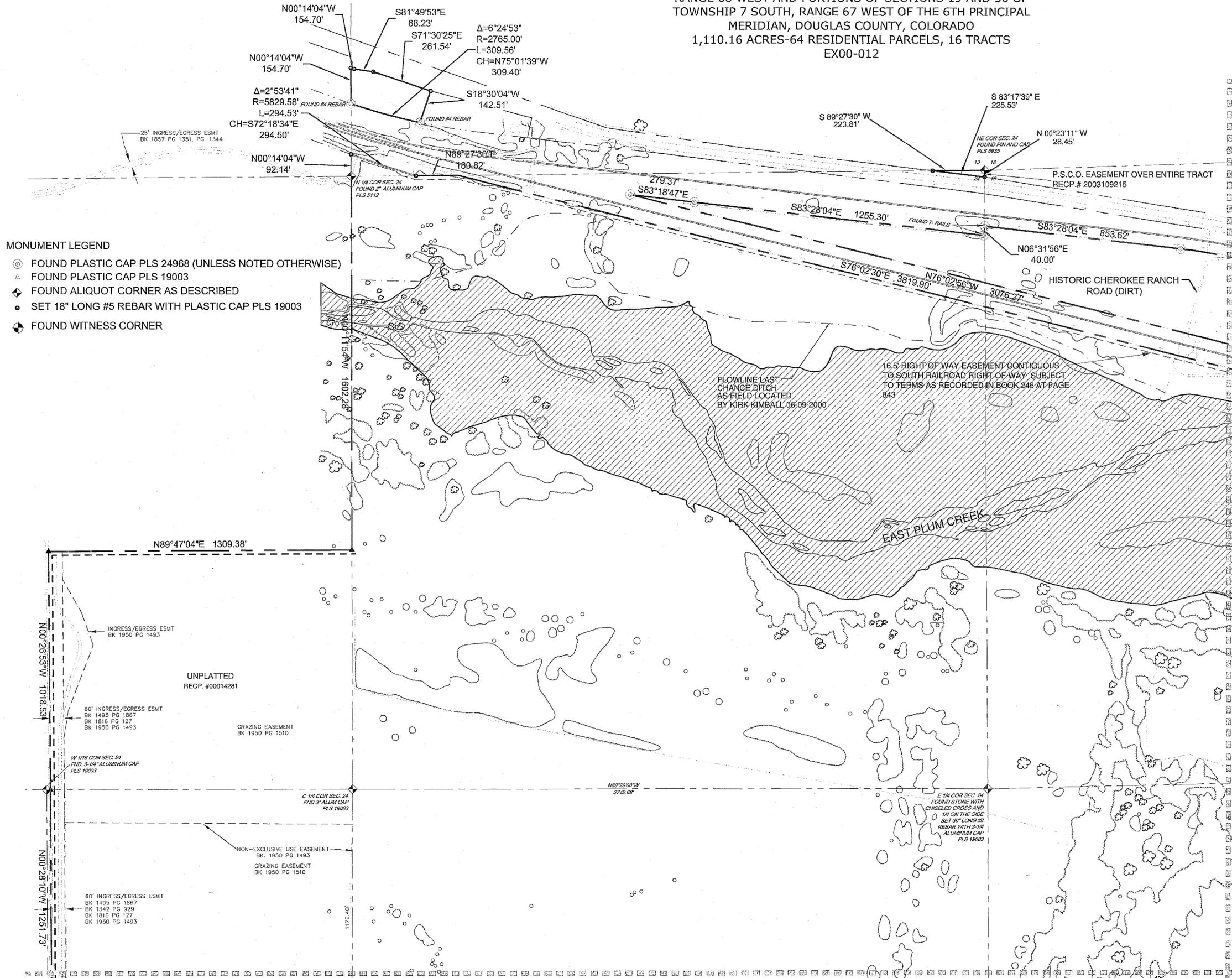
- Rights or claims of parties in possession not shown by the public records.
- Easements or claims of easements not shown by the public records.
- Discrepancies, conflicts in boundary lines, shortages in area, encroachments, and any facts which a correct survey and inspection of the premises would disclose and which are not shown by the public records.
- Any lien, or right to a lien, for services, labor, or material heretofore or hereafter furnished, imposed by law and not shown by the public records.
- Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this commitment.
- Taxes due and payable; and any tax, special assessments, charge or lien imposed for water or sewer service, or for any other special taxing district.

Additional Exceptions

- All water, water rights, or claims thereto, in, on or under the land.
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded June 23, 1861 in Book K at Page 494, and any and all assignments thereof or interests therein. (affects NE 1/4 Sec 19)
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded May 18, 1867 in Book P at Page 44, and any and all assignments thereof or interests therein. (affects NE 1/4 Sec 24)
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded July 6, 1892 in Book P at Page 121, and any and all assignments thereof or interests therein. (affects N 1/2 NE 1/4; NE 1/4 NW 1/4 Sec 30 & SE 1/4 SW 1/4 Sec 18)
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded September 10, 1866 in Book P at Page 370, and any and all assignments thereof or interests therein.
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded July 11, 1869 in Book P at Page 394, and any and all assignments thereof or interests therein. (affects E 1/2 SE 1/4 Sec 24 & N 1/2 SW 1/4 Sec 19)
- The right of the proprietor of a vein or lode to extract or remove his ore, should the same be found to penetrate or intersect the premises thereby granted and rights-of-way for ditches and canals as reserved in United States Patent recorded January 17, 1891 in Book X at Page 8, and any and all assignments thereof or interests therein. (affects SE 1/4 Sec 19)
- Right-of-way for Last Chance Ditch as shown in instrument recorded March 24, 1924 in Book 75 at Page 47. (affects part SE 1/4 NW 1/4 Sec 18)
- Reservation of undivided one-half interest in all oil, gas or other minerals in and under the described real estate as contained in warranty deed recorded June 2, 1954 in Book 110 at Page 285, and any and all assignments thereof or interest therein.
- Right-of-way for Last Chance Ditch No. 2 & 3 in instrument filed August 5, 1954 at Reception No. 94730. (affects part N 1/2 NE 1/4; NE 1/4 NW 1/4 Sec 24)
- An easement for communication and incidental purposes granted to Public Service Company of Colorado by the instrument recorded May 21, 1973 in Book 246 at Page 843, upon the terms and conditions set forth in the instrument, over a portion of the land. (affects part SE 1/4 Sec 19)
- Reservation of all minerals, including but not limited to oil, gas, gravel, building stone, including minerals removable by surface or open pit mining, underground mining, in situ methods or heap leaching, as contained in deed recorded November 19, 1996 in Book 1337 at Page 1695, and any and all assignments thereof or interest therein.
- Terms, conditions, provisions, agreements and obligations specified under the Agreement, which was recorded March 6, 2000 in Book 1816 at Page 1700.
- Any rights, interest, or easements in favor of the United States, the State of Colorado or the public, which exist or are claimed to exist in and over the present and past bed, banks, or waters of East Plum Creek.
- Terms, agreements, provisions conditions and obligations of a Ground lease, executed by Cherokee Ranch, Inc., as lessor(s), and Cooley Gravel Company, as lessee(s), recorded in Book 0912, Page 1045, and any and all parties claiming by, through and under said lease(s).
- Terms, conditions, provisions, agreements and easements specified under the Grant of Easement, which was recorded June 15, 2000 in Book 1857 at Page 1344.

MONUMENT LEGEND

- ⊙ FOUND PLASTIC CAP PLS 24968 (UNLESS NOTED OTHERWISE)
- △ FOUND PLASTIC CAP PLS 19003
- ◆ FOUND ALIQUOT CORNER AS DESCRIBED
- SET 18" LONG #5 REBAR WITH PLASTIC CAP PLS 19003
- ⬢ FOUND WITNESS CORNER



MATCHLINE SEE SHEET 4

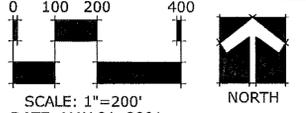
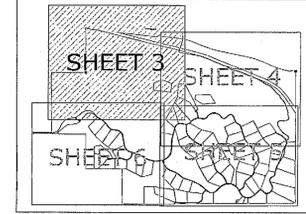
MATCHLINE SEE SHEET 6

CONTINUED ON SHEET #4

LEGEND

- ⊙ EXISTING TREES
- EXISTING SHRUBS
- ▨ FEMA 100 YR FLOODPLAIN

KEY MAP



SCALE: 1"=200'
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**SOLITUDE COLORADO
 RURAL SITE PLAN
 EXISTING CONDITIONS**

SOLITUDE COLORADO RURAL SITE PLAN

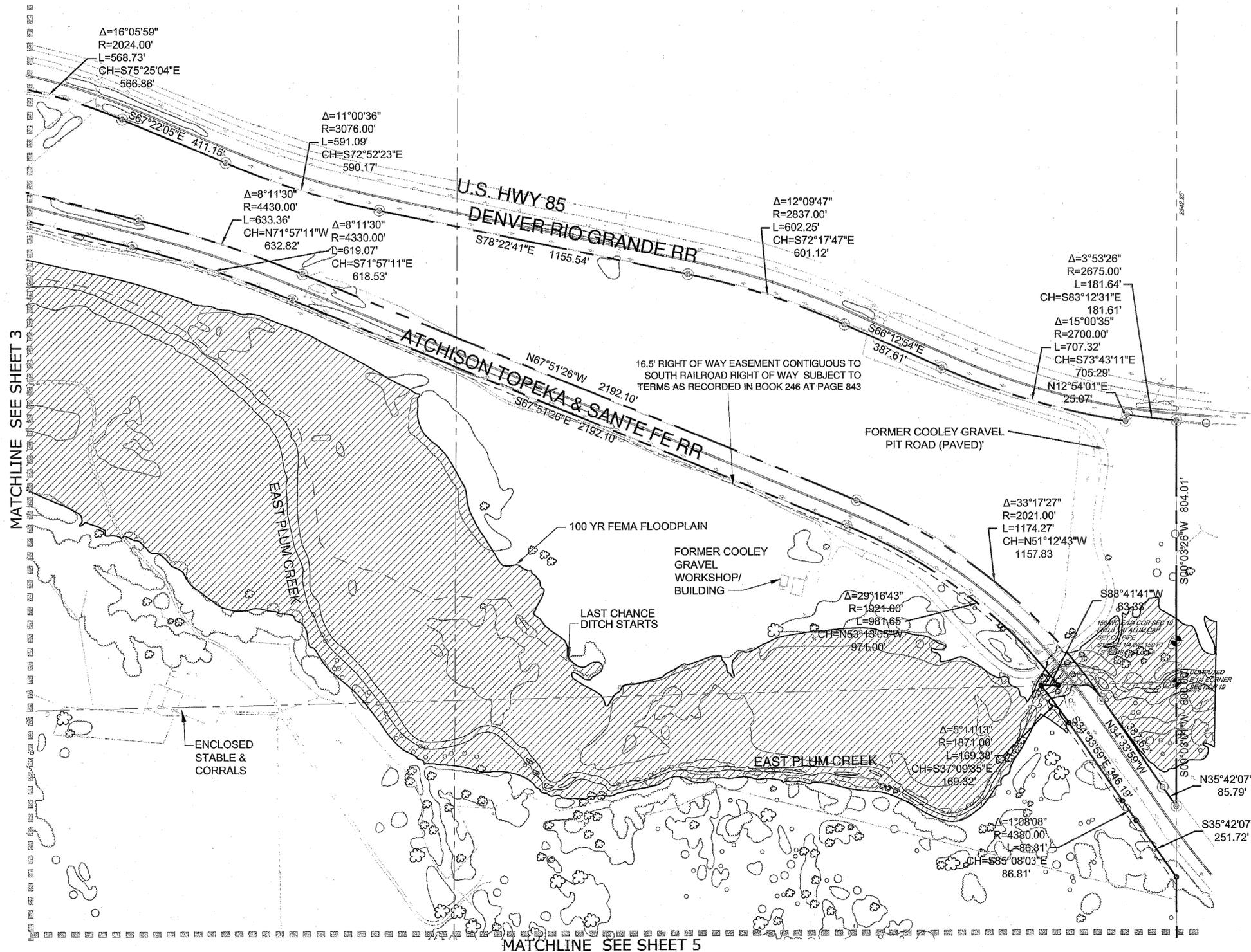
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- SET 18" LONG #5 REBAR WITH PLASTIC CAP PLS 19003
- ⬢ FOUND WITNESS CORNER

CONTINUED FROM SHEET #3

23. Terms, conditions, provisions, agreements and easements specified under the Grant of Easement, which was recorded June 15, 2000 in Book 1867 at Page 1351.
24. Terms, conditions, provisions, agreements and obligations specified under the Memorandum of Contract, which was recorded June 15, 2000 in Book 1867 at Page 1351.
25. All water and water rights, ditches and ditch rights, reservoirs and reservoir rights, springs and seeps, whether adjudicated or unadjudicated, conditional or absolute, surface or underground as conveyed to Cherokee Koebel, LLC in deed recorded August 20, 2002 at Reception No. 2002053016.
26. An undivided 1/2 interest in all oil, gas and other mineral rights as reserved in deed recorded December 31, 1979 in Book 379 at Page 406, and any and all assignments thereof or interests therein.
27. Easement for ingress and egress over a westerly portion of subject property granted to Chase Manhattan Mortgage Corporation in instrument recorded May 17, 1996 in Book 1342 at Page 929.
28. Easement for ingress and egress over a westerly portion of subject property granted to The Women's Bank, N.A., in instrument recorded December 22, 1997 in Book 1495 at Page 1867.
29. Easement for ingress and egress over a westerly portion of subject property granted to Nancy Lepino in deed of trust recorded March 3, 2000 in Book 1816 at Page 127.
30. One-half interest in all mineral rights as reserved by Laura C. Scott in deed recorded October 9, 1970 in Book 210 at Page 200, and any and all assignments thereof or interests therein.
31. The effect of the inclusion of the subject property in the West Douglas County Fire Protection District, as disclosed by the instrument recorded May 21, 1980 in Book 387 at Page 523 and May 19, 1980 in Book 387 at Page 779.
32. Deed of trust from Bradley K. Brown, to the public trustees of Douglas county, for the benefit of Chase Manhattan Mortgage Corporation, securing an original principal indebtedness of \$377,000.00, and any other amounts and/or obligations, dated December 17, 1997, and recorded December 22, 1997 in Book 1496 at Page 1867.
33. Terms, conditions, provisions, agreements and easements specified under the Access Easement, which was recorded January 28, 2001 in Book 1950 at Page 1493.
34. Terms, conditions, provisions, agreements and obligations specified under the Grazing Easement and Use Restriction, which was recorded January 18, 2001 in Book 1950 at Page 1510.
35. The effect of the inclusion of the subject property in the Solitude Metropolitan District, as disclosed by the instrument recorded December 6, 2002 at Reception No. 2002132666.
36. An easement for gas pipeline and incidental purposes granted to Public Service Company of Colorado by the instrument recorded July 22, 2003 at Reception No. 2003109215, upon the terms and conditions set forth in the instrument, over a portion of the land.
37. Any existing leases or tenancies, and any and all parties claiming by, through or under said lessees.



- ## LEGEND
- ⊙ EXISTING TREES
 - EXISTING SHRUBS
 - ▨ FEMA 100 YR FLOODPLAIN

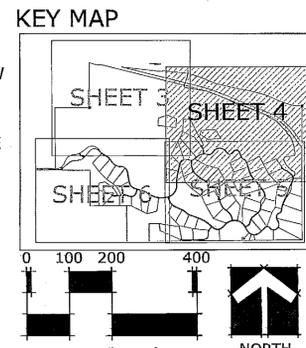
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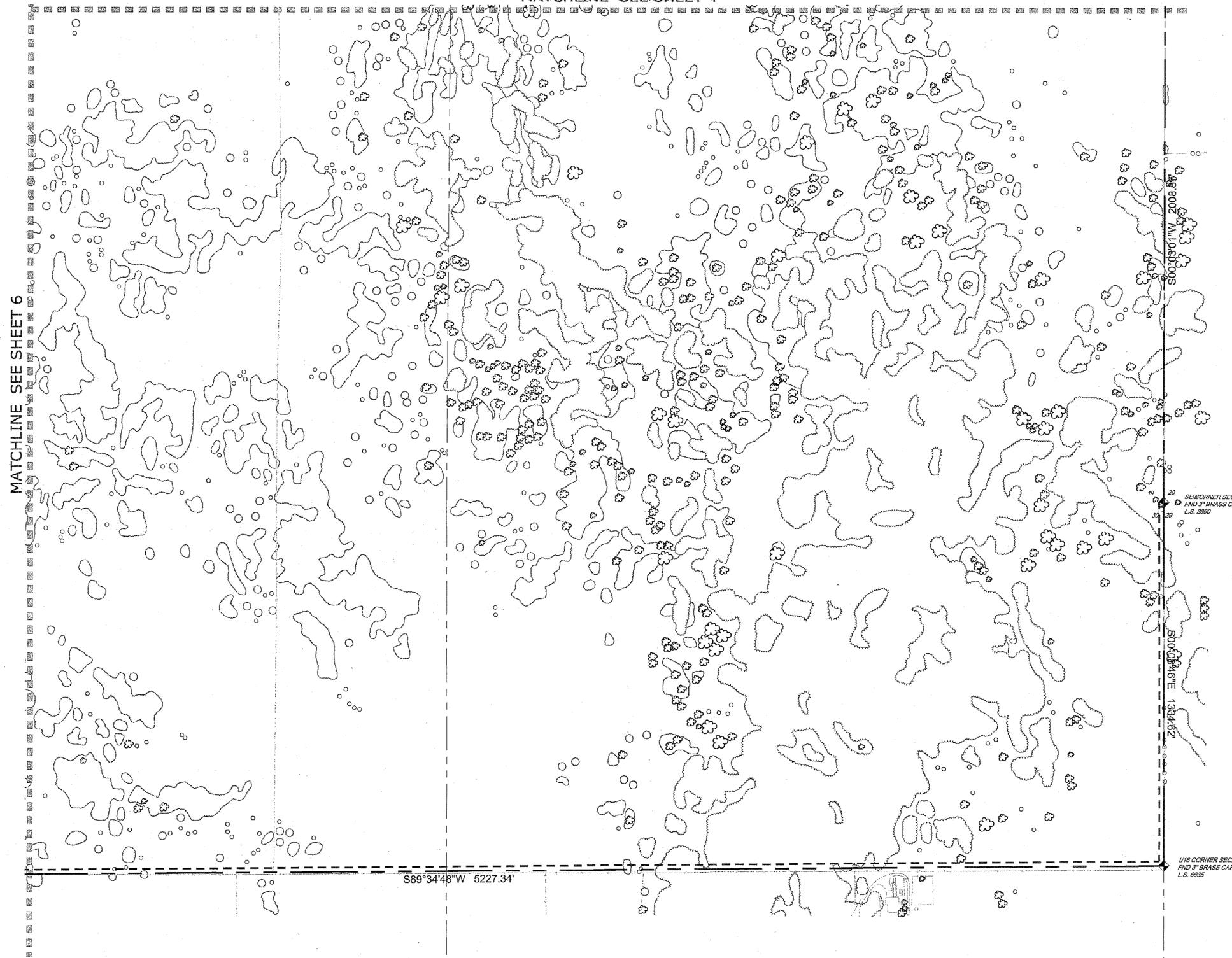
SOLITUDE COLORADO
 RURAL SITE PLAN
 EXISTING CONDITIONS

SHEET 4 OF 14

SOLITUDE COLORADO RURAL SITE PLAN

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MATCHLINE SEE SHEET 4



MONUMENT LEGEND

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LEGEND:

- ☼ EXISTING TREES
- EXISTING SHRUBS

APPLICANT:
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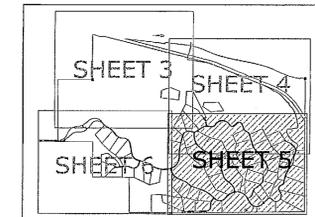
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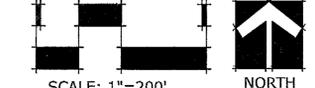
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KEY MAP



0 100 200 400



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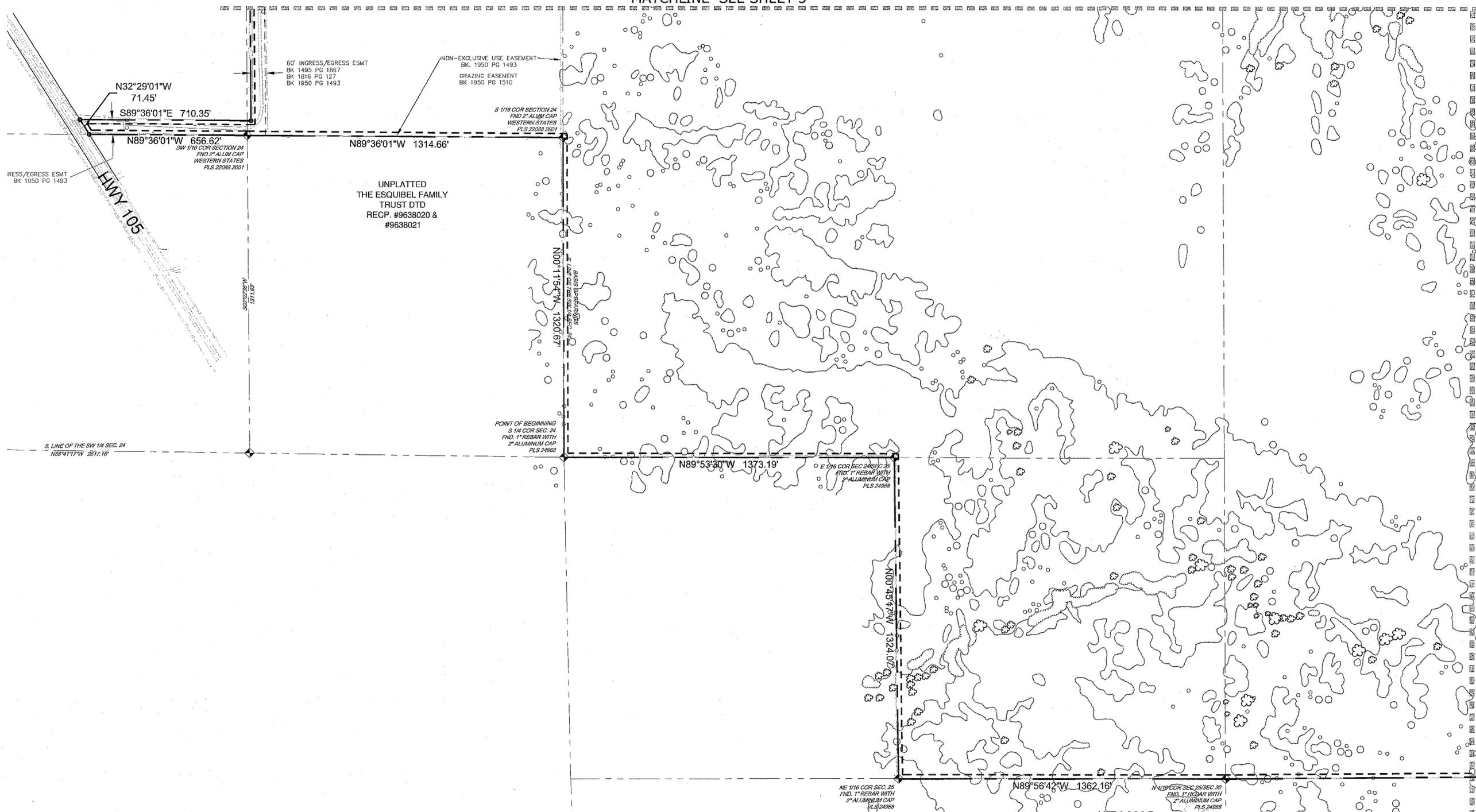
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MATCHLINE SEE SHEET 3



MATCHLINE SEE SHEET 5

- LEGEND**
- EXISTING TREES
 - EXISTING SHRUBS

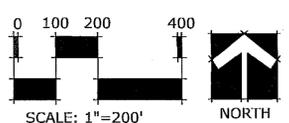
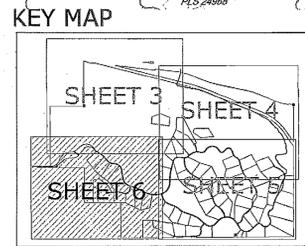
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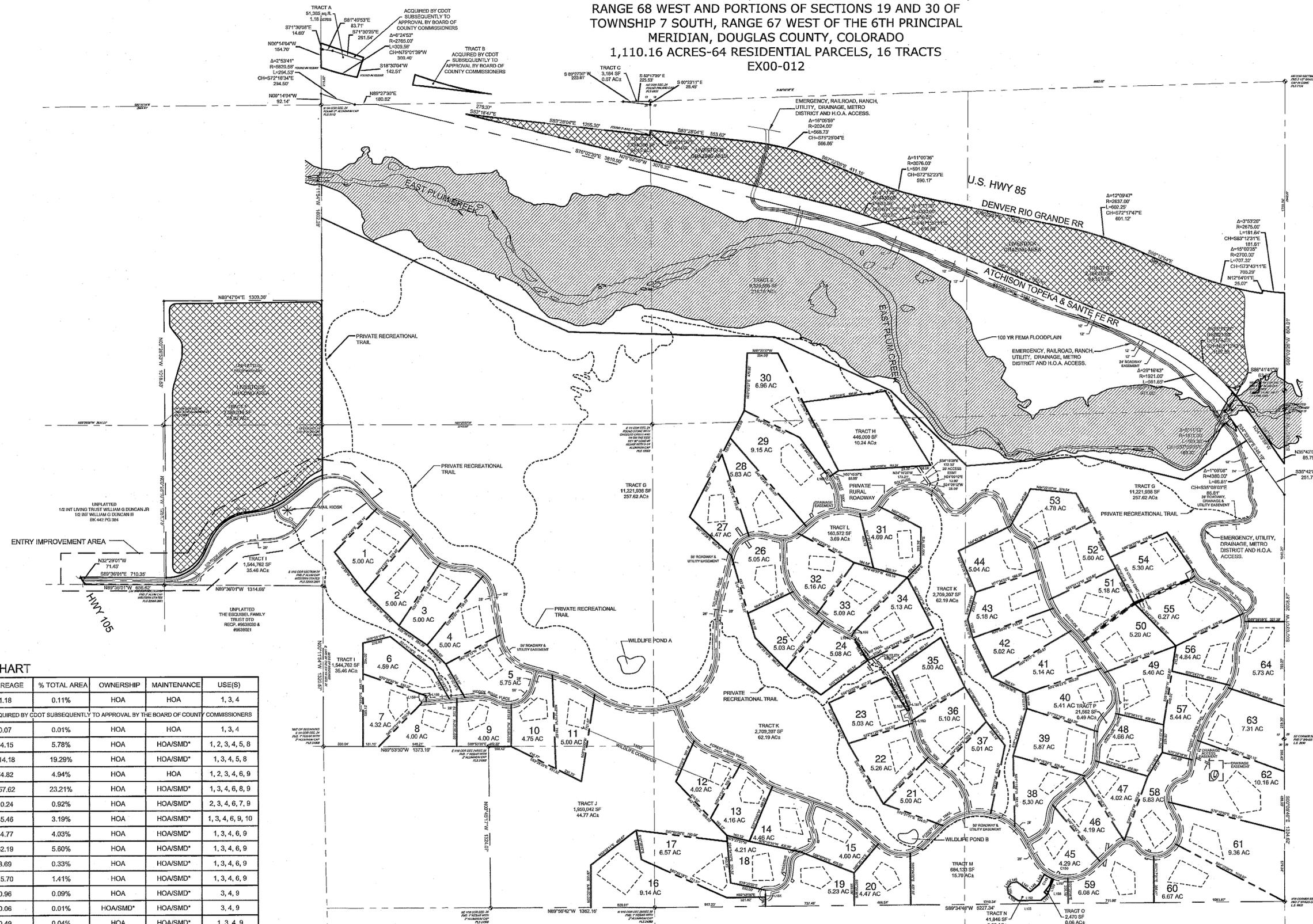


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LEGEND

- PROPOSED PRIVATE RECREATIONAL TRAIL
- 100 YEAR FEMA FLOODPLAIN
- LIVESTOCK GRAZING
- BUILDING ENVELOPE

SITE DATA CHART

LAND USE	NO. OF UNITS	ACREAGE	% TOTAL AREA
TRACTS H, N & O	N/A	11.26	1.01%
ROADWAY (EXCLUDING PARCELS)	N/A	10.50	0.95%
SINGLE FAMILY DETACHED	64	344.58	31.04%
OPEN SPACE PRESERVE**	N/A	743.82	67.00%
TOTAL	64	1110.16	100.00%

** OPEN SPACE PRESERVE AREA OF TRACTS A G, I-M & P (754.32 AC) EXCLUDING THE ROADWAY & UTILITY ESMT.

TRACT USE CHART

TRACTS	ACREAGE	% TOTAL AREA	OWNERSHIP	MAINTENANCE	USE(S)
TRACT A	1.18	0.11%	HOA	HOA	1, 3, 4
TRACT B	ACQUIRED BY CDOT SUBSEQUENTLY TO APPROVAL BY THE BOARD OF COUNTY COMMISSIONERS				
TRACT C	0.07	0.01%	HOA	HOA	1, 3, 4
TRACT D	64.15	5.78%	HOA	HOA/SMD*	1, 2, 3, 4, 5, 8
TRACT E	214.18	19.29%	HOA	HOA/SMD*	1, 3, 4, 5, 8
TRACT F	54.82	4.94%	HOA	HOA	1, 2, 3, 4, 6, 9
TRACT G	257.62	23.21%	HOA	HOA/SMD*	1, 3, 4, 6, 8, 9
TRACT H	10.24	0.92%	HOA	HOA/SMD*	2, 3, 4, 6, 7, 9
TRACT I	35.46	3.19%	HOA	HOA/SMD*	1, 3, 4, 6, 9, 10
TRACT J	44.77	4.03%	HOA	HOA/SMD*	1, 3, 4, 6, 9
TRACT K	62.19	5.60%	HOA	HOA/SMD*	1, 3, 4, 6, 9
TRACT L	3.69	0.33%	HOA	HOA/SMD*	1, 3, 4, 6, 9
TRACT M	15.70	1.41%	HOA	HOA/SMD*	1, 3, 4, 6, 9
TRACT N	0.96	0.09%	HOA	HOA/SMD*	3, 4, 9
TRACT O	0.06	0.01%	HOA/SMD*	HOA/SMD*	3, 4, 9
TRACT P	0.49	0.04%	HOA	HOA/SMD*	1, 3, 4, 9
TOTAL	765.58	68.96%			

* IF APPROVED FOR THE SOLITUDE COLORADO METRO DISTRICT, OTHERWISE OWNED AND/OR MAINTAINED BY HOA
HOA - SOLITUDE COLORADO HOMEOWNER'S ASSOCIATION, INC.
SMD - TITLE 32 METROPOLITAN DISTRICT, IF APPROVED

TRACT USES

- 1 - OPEN SPACE
- 2 - LIVESTOCK GRAZING
- 3 - UTILITIES
- 4 - DRAINAGE
- 5 - PUBLIC TRAIL
- 6 - PRIVATE TRAIL
- 7 - COMMUNITY AREA
- 8 - EMERGENCY/AUTHORIZED USE ROADWAYS
- 9 - ROADWAYS
- 10 - MAILBOX KIOSK

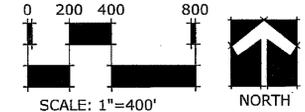
APPLICANT:
CHEROKEE KOELBEL, LLC.
5291 EAST YALE AVENUE
DENVER, COLORADO 80222

PLANNER:
DHM DESIGN CORPORATION
1390 LAWRENCE ST., SUITE 100
DENVER, COLORADO 80204

ENGINEER/SURVEYOR:
KIRKHAM MICHAEL
5600 S. QUEBEC STREET
SUITE 2000
ENGLEWOOD, COLORADO 80111

WILDLIFE BIOLOGIST:
ERO RESOURCES
1842 CLARKSON STREET
DENVER, COLORADO 80218

WETLANDS CONSULTANT:
WESTERN ECOLOGICAL RESOURCES
711 WALNUT STREET
BOULDER, COLORADO 80302



SCALE: 1"=400'
MAY 31, 2001
REV: OCTOBER 30, 2001
REV: JUNE 10, 2002
REV: AUGUST 23, 2002
REV: SEPTEMBER 9, 2002
REV: MARCH 15, 2004

**SOLITUDE COLORADO
RURAL SITE PLAN
SITE PLAN**

SOLITUDE COLORADO RURAL SITE PLAN

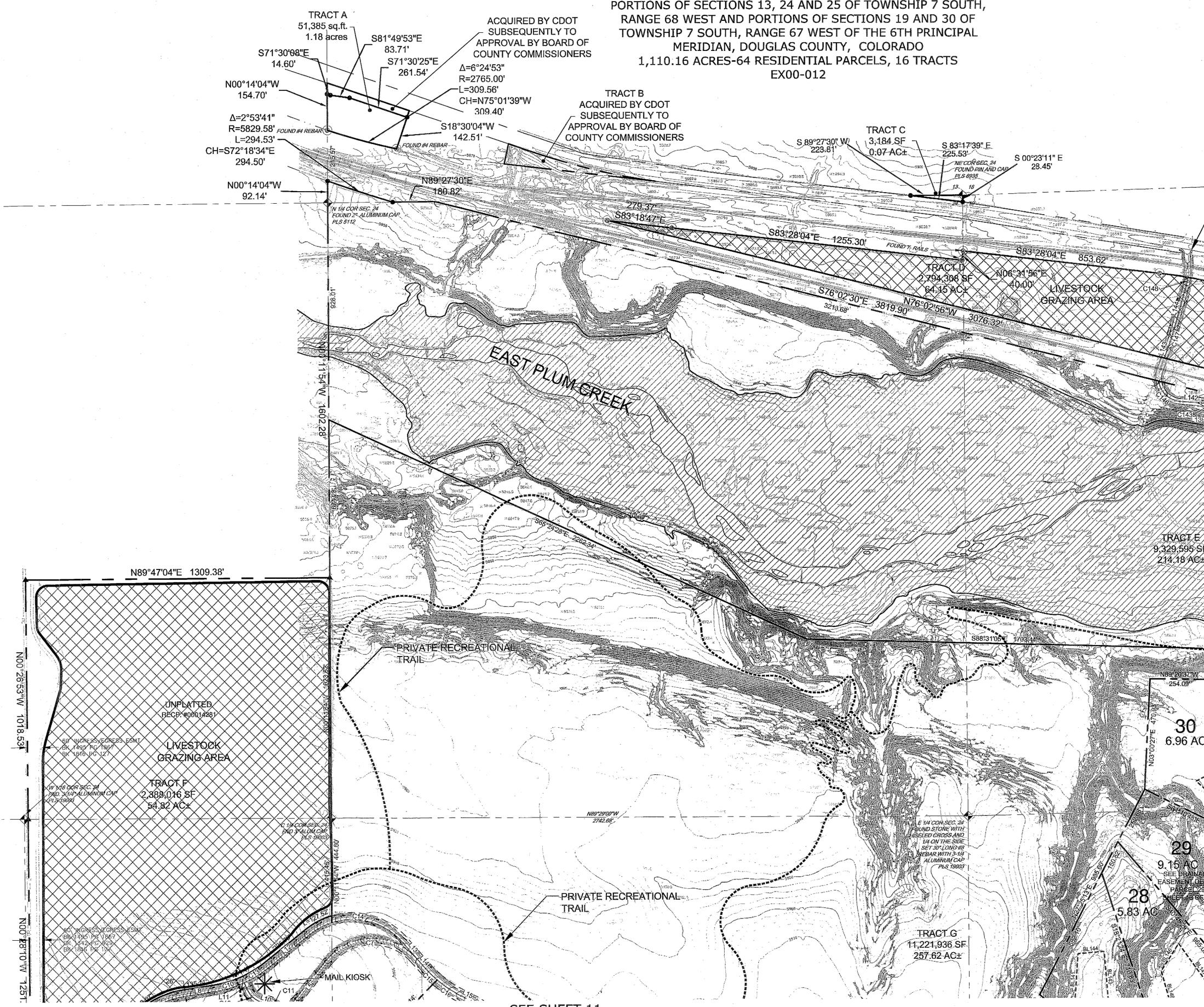
PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
RANGE 68 WEST AND PORTIONS OF SECTIONS 19 AND 30 OF
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL
MERIDIAN, DOUGLAS COUNTY, COLORADO
1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
EX00-012

LEGEND

- PROPOSED PRIVATE RECREATIONAL TRAIL
- 20% OR GREATER SLOPES
- ▨ 100 YEAR FLOODPLAIN
- ▩ LIVESTOCK GRAZING
- BUILDING ENVELOPE

MONUMENT LEGEND

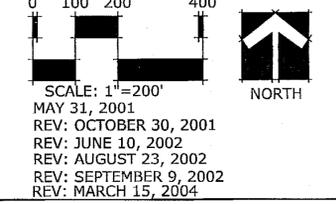
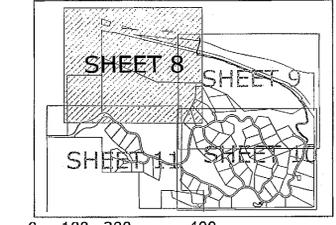
- ⊙ FOUND PLASTIC CAP PLS 24968 (UNLESS NOTED OTHERWISE)
- ▲ FOUND PLASTIC CAP PLS 19003
- ◆ FOUND ALIQUOT CORNER AS DESCRIBED
- SET 18" LONG #5 REBAR WITH PLASTIC CAP PLS 19003
- ⊕ FOUND WITNESS CORNER



SEE SHEET 9

SEE SHEET 11

KEY MAP



APPLICANT:
CHEROKEE KOELBEL, LLC.
5291 EAST YALE AVENUE
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SOLITUDE COLORADO
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SOLITUDE COLORADO RURAL SITE PLAN

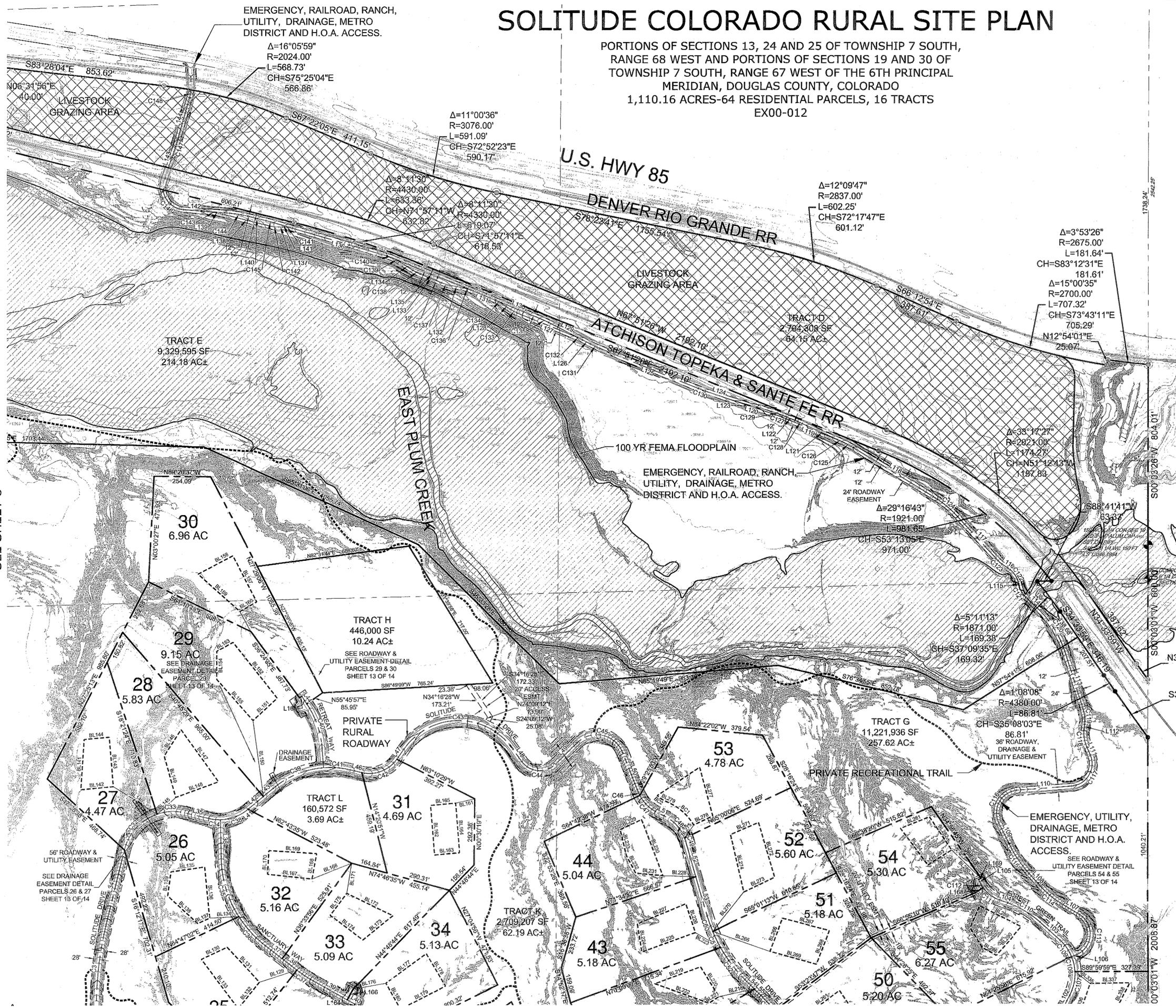
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MONUMENT LEGEND

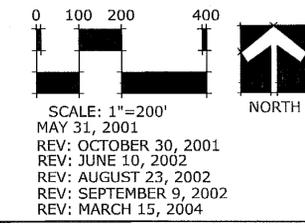
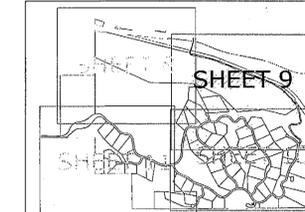
-  FOUND PLASTIC CAP PLS 24968 (UNLESS NOTED OTHERWISE)
-  FOUND PLASTIC CAP PLS 19003
-  FOUND ALIQUOT CORNER AS DESCRIBED
-  SET 18" LONG #5 REBAR WITH PLASTIC CAP PLS 19003
-  FOUND WITNESS CORNER



SEE SHEET 8

SEE SHEET 10

KEY MAP



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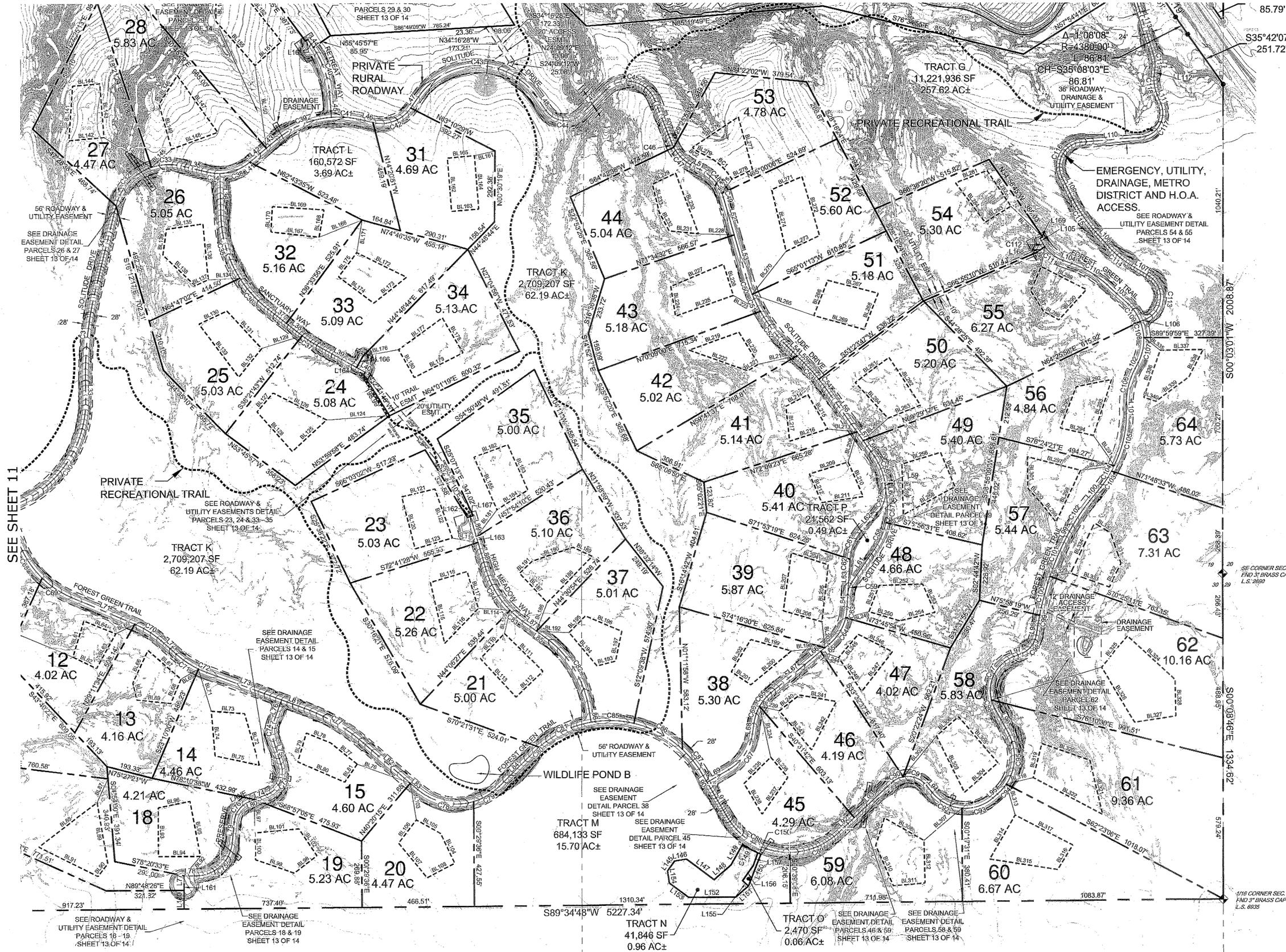
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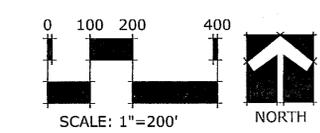
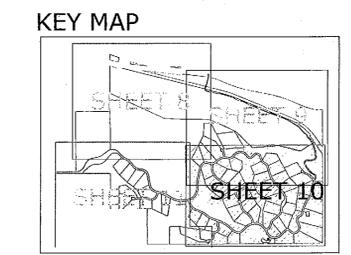
PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
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EX00-012

SEE SHEET 9



- ### LEGEND
- PROPOSED PRIVATE RECREATIONAL TRAIL
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 - BUILDING ENVELOPE

- ### MONUMENT LEGEND
- ⊙ FOUND PLASTIC CAP PLS 24968 (UNLESS NOTED OTHERWISE)
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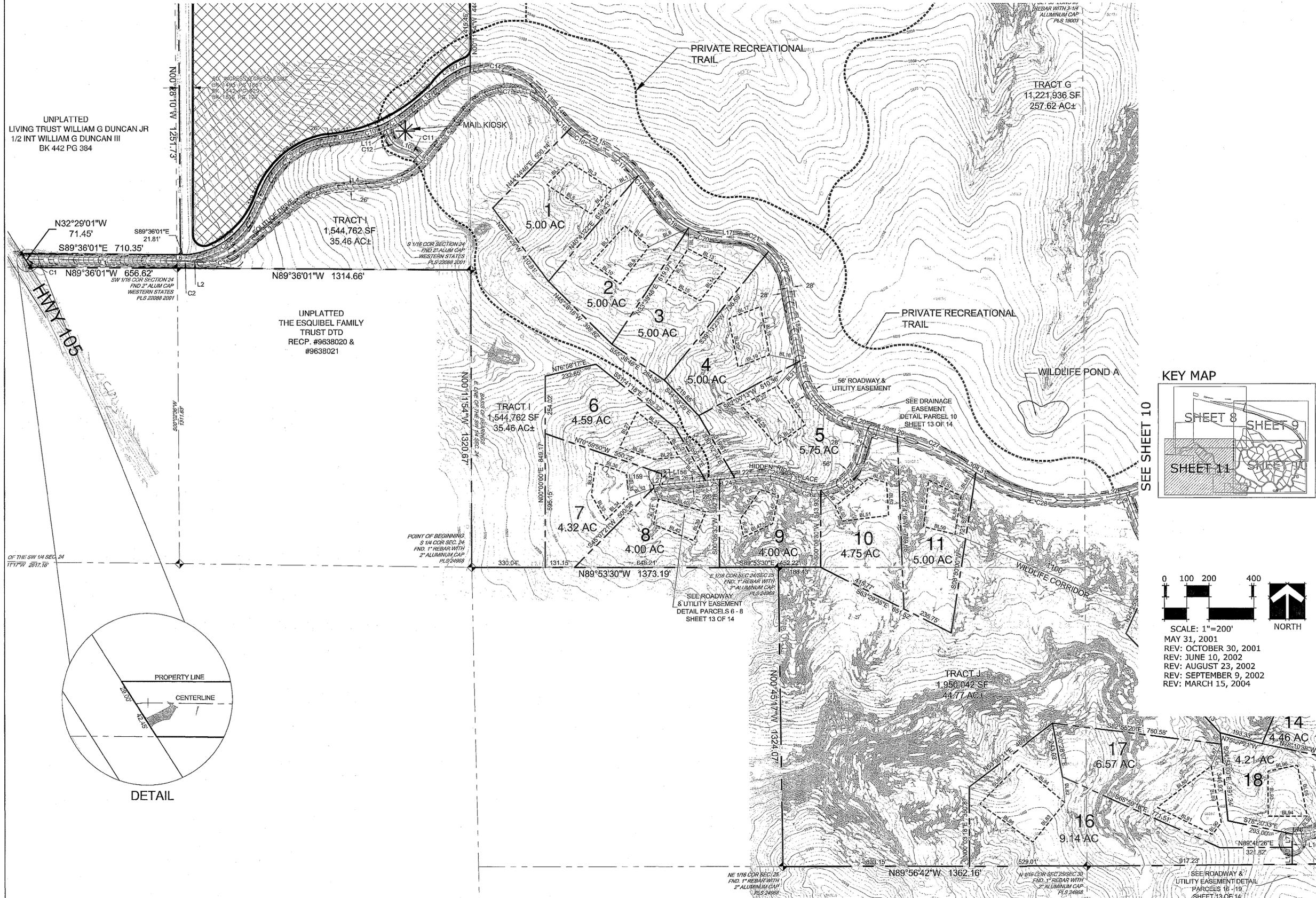
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SOLITUDE COLORADO RURAL SITE PLAN

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 1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS

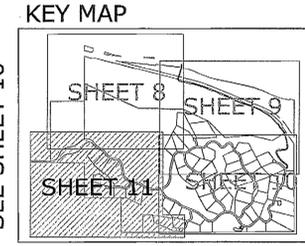
SEE SHEET 8

EX00-012

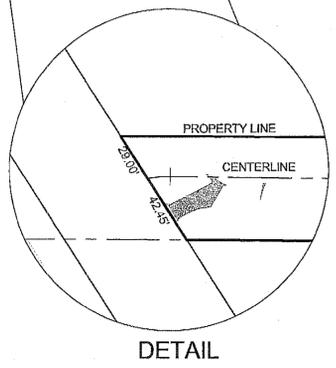
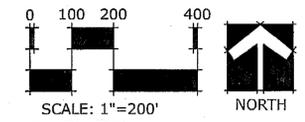


UNPLATTED
 LIVING TRUST WILLIAM G DUNCAN JR
 1/2 INT WILLIAM G DUNCAN III
 BK 442 PG 384

UNPLATTED
 THE ESQUIBEL FAMILY
 TRUST DTD
 RECP. #9638020 &
 #9638021



- LEGEND**
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 - 100 YEAR FLOODPLAIN
 - LIVESTOCK GRAZING
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MERIDIAN, DOUGLAS COUNTY, COLORADO
1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
EX00-012

CENTER LINE, PARCEL & TRACT LINE & CURVE DATA

BUILDING ENVELOPE LINE & CURVE DATA

LINE	BEARING	LENGTH
L1	S89°09'31"E	668.66'
L2	S84°47'31"E	20.17'
L3	N89°49'38"E	361.18'
L4	N88°17'22"E	155.10'
L5	N39°07'14"E	264.80'
L6	S89°09'31"E	19.76'
L7	N24°47'45"E	119.71'
L8	N81°20'05"E	135.11'
L9	N44°53'45"W	30.57'
L10	N71°02'49"W	31.36'
L11	N84°13'07"W	31.37'
L12	N51°39'30"E	225.79'
L13	S41°23'21"E	88.32'
L14	S41°23'21"E	58.81'
L15	S63°27'48"E	24.02'
L16	S38°23'06"E	160.59'
L17	S39°36'23"E	52.37'
L18	S39°57'02"E	350.30'
L19	S39°57'02"E	22.31'
L20	S20°46'49"E	75.86'
L21	N16°50'11"E	137.47'
L22	N84°53'31"E	88.97'
L23	S63°49'18"E	32.85'
L24	N84°53'31"E	67.48'
L25	N84°53'31"E	62.85'
L26	N84°53'31"E	193.82'
L27	N84°53'31"E	40.00'
L28	S74°06'49"E	136.12'
L29	S74°06'49"E	7.88'
L30	S39°03'58"E	71.00'
L31	S39°03'58"E	34.81'
L32	N70°54'08"E	63.03'
L33	N00°49'09"W	76.80'
L34	N13°58'55"E	342.21'
L35	S76°39'48"E	111.95'
L36	S01°19'24"E	171.94'
L37	S52°21'10"E	97.49'
L38	S52°21'10"E	62.81'
L39	S69°51'20"E	187.52'
L40	S60°51'20"E	40.00'
L41	N50°28'02"E	1.25'
L42	N50°28'02"E	88.82'
L43	N50°28'02"E	57.28'
L44	S34°14'03"E	40.00'
L45	S04°10'15"E	88.82'
L46	S78°46'38"E	33.12'
L47	N35°17'47"E	55.48'
L48	S35°09'28"E	66.54'
L49	N45°29'09"E	136.71'
L50	S21°47'25"E	188.27'

LINE	BEARING	LENGTH
L101	S84°37'43"E	30.39'
L102	S16°12'44"E	163.18'
L103	N89°49'38"E	416.09'
L104	N70°29'03"W	39.03'
L105	N28°16'50"W	22.66'
L106	N67°42'55"E	23.77'
L107	N59°02'39"W	91.33'
L108	N42°32'12"W	85.91'
L109	S07°36'06"E	17.69'
L110	S07°36'06"E	42.02'
L111	S34°33'40"W	161.23'
L112	S41°17'40"W	102.66'
L113	S41°23'21"E	140.77'
L114	S03°31'45"W	62.98'
L115	S63°27'48"E	24.02'
L116	S50°38'03"W	22.60'
L117	S50°38'03"W	265.89'
L118	S67°46'21"W	410.11'
L119	S59°56'35"W	103.34'
L120	S20°46'49"E	153.85'
L121	S66°59'05"E	284.49'
L122	N84°53'31"E	88.97'
L123	S70°00'44"E	329.79'
L124	N68°15'50"E	58.29'
L125	N17°57'27"W	109.85'
L126	N19°59'45"E	100.37'
L127	N87°51'28"W	269.83'
L128	N89°38'19"E	50.78'
L129	N62°44'10"W	83.57'
L130	N68°15'50"E	22.85'
L131	S70°00'44"E	101.10'
L132	S69°48'24"E	255.40'
L133	S69°48'24"E	41.69'
L134	N13°58'55"E	342.21'
L135	S64°17'48"E	45.26'
L136	S01°19'24"E	171.94'
L137	S54°17'48"E	72.95'
L138	S16°35'20"E	116.94'
L139	S16°35'20"E	88.80'
L140	S03°31'45"W	33.77'
L141	N50°28'02"E	160.77'
L142	N46°45'47"E	87.10'
L143	N46°45'47"E	208.84'
L144	S39°18'58"E	40.82'
L145	N49°38'02"E	26.15'
L146	N21°02'00"W	114.34'
L147	S53°43'38"E	142.04'
L148	N49°44'30"E	91.64'
L149	N27°26'39"E	97.96'
L150	N39°55'04"E	22.85'

LINE	BEARING	LENGTH
L101	N00°18'45"W	37.21'
L102	N28°10'18"E	27.34'
L103	N65°54'38"W	119.59'
L104	N70°29'03"W	39.03'
L105	N28°16'50"W	22.66'
L106	N67°42'55"E	23.77'
L107	N59°02'39"W	91.33'
L108	N42°32'12"W	85.91'
L109	N26°29'12"W	96.08'
L110	N65°40'10"E	247.37'
L111	N24°03'07"W	37.71'
L112	N08°48'36"E	22.60'
L113	N17°48'25"W	274.14'
L114	N47°08'54"W	70.83'
L115	N11°31'27"W	7.27'
L116	N53°31'09"W	45.03'
L117	N42°38'28"W	268.63'
L118	N39°36'35"W	418.11'
L119	N67°51'28"W	269.29'
L120	N71°39'19"W	269.73'
L121	N65°29'53"W	194.33'
L122	N87°51'28"W	73.38'
L123	N73°50'45"W	190.16'
L124	N73°50'45"W	119.68'
L125	N17°57'27"W	109.85'
L126	N82°54'10"W	41.17'
L127	N87°51'28"W	269.83'
L128	N56°51'40"W	41.29'
L129	N62°44'10"W	170.51'
L130	N67°51'28"W	216.83'
L131	N67°51'28"W	114.89'
L132	N78°51'13"W	60.37'
L133	N67°51'28"W	104.52'
L134	N57°31'03"W	64.36'
L135	N67°51'28"W	384.16'
L136	N73°43'57"W	440.22'
L137	S88°28'02"W	14.63'
L138	N70°02'36"W	219.74'
L139	S88°11'06"E	114.50'
L140	S76°02'56"E	83.83'
L141	S73°43'57"E	82.87'
L142	N85°31'05"W	93.27'
L143	N19°47'22"E	75.05'
L144	N15°52'15"E	217.95'
L145	N88°05'27"E	49.70'
L146	N81°02'00"W	49.70'
L147	S53°43'38"E	142.04'
L148	N49°44'30"E	91.64'
L149	N27°26'39"E	97.96'
L150	N39°55'04"E	139.39'

LINE	BEARING	LENGTH
L151	S49°38'17"W	70.15'
L152	N90°00'00"W	184.63'
L153	N65°54'38"W	119.59'
L154	N70°29'03"W	39.03'
L155	N48°03'18"W	32.98'
L156	N36°08'16"E	76.37'
L157	N19°37'43"E	64.11'
L158	N08°17'46"W	47.73'
L159	N08°08'29"W	12.00'
L160	N00°08'37"E	75.12'
L161	N00°08'37"E	26.34'
L162	N73°24'40"E	12.00'
L163	S16°55'20"E	23.46'
L164	N29°08'40"E	12.00'
L165	S55°45'57"W	12.00'
L166	N29°08'40"E	54.17'
L167	N29°08'40"E	12.00'
L168	N55°05'46"E	40.00'
L169	N61°41'10"E	12.00'

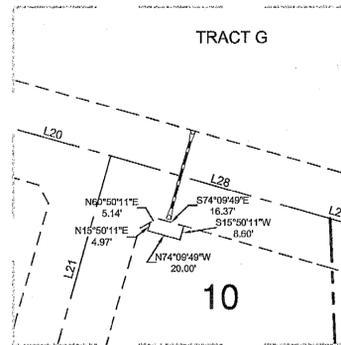
CURVE	DELTA	RADIUS	LENGTH
C1	111°00'27"	70.00'	13.85'
C2	42°16'58"	880.00'	67.08'
C3	42°22'25"	270.00'	213.89'
C4	3°04'19"	355.67'	225.29'
C5	41°05'08"	340.00'	243.81'
C6	5°09'01"	340.00'	35.51'
C7	99°29'25"	256.00'	444.53'
C8	6°00'24"	375.00'	432.27'
C9	58°26'20"	345.00'	340.44'
C10	1°33'51"	500.00'	135.74'
C11	28°22'23"	100.00'	46.04'
C12	47°03'11"	100.00'	82.12'
C13	14°07'17"	500.00'	123.23'
C14	86°57'09"	294.00'	446.18'
C15	7°54'52"	500.00'	69.07'
C16	14°09'35"	500.00'	123.57'
C17	22°52'59"	500.00'	198.89'
C18	21°11'33"	500.00'	19.13'
C19	24°00'20"	350.00'	146.64'
C20	25°12'57"	350.00'	154.03'
C21	39°39'07"	250.00'	173.01'
C22	38°00'14"	250.00'	165.82'
C23	64°12'47"	320.00'	358.63'
C24	58°03'33"	200.00'	238.34'
C25	31°17'11"	300.00'	162.87'
C26	31°58'38"	200.00'	110.92'
C27	17°05'51"	1175.00'	309.61'
C28	42°51'54"	175.00'	579.81'
C29	3°14'38"	450.00'	25.51'
C30	7°30'12"	450.00'	893.89'
C31	14°48'04"	1500.00'	387.49'
C32	67°29'27"	250.00'	225.37'
C33	31°57'49"	225.00'	126.52'
C34	14°39'33"	200.00'	51.17'
C35	31°14'29"	500.00'	272.63'
C36	19°47'17"	500.00'	172.68'
C37	8°30'10"	500.00'	74.20'
C38	38°17'24"	450.00'	137.80'
C39	35°21'43"	450.00'	224.14'
C40	30°03'48"	400.00'	209.88'
C41	17°24'08"	400.00'	121.49'
C42	67°58'07"	150.00'	177.85'
C43	108°38'47"	300.00'	573.85'
C44	99°24'28"	100.00'	273.80'
C45	112°45'28"	725.00'	246.89'
C46	67°08'37"	180.00'	19.30'
C47	36°41'41"	180.00'	115.28'
C48	43°38'15"	180.00'	136.99'
C49	44°59'59"	180.00'	15.14'
C50	6°23'05"	650.00'	72.43'

CURVE	DELTA	RADIUS	LENGTH
C51	6°54'01"	650.00'	78.28'
C52	15°58'39"	650.00'	181.24'
C53	6°58'11"	850.00'	92.66'
C54	3°04'19"	800.00'	42.87'
C55	28°09'24"	250.00'	122.88'
C56	0°00'00"	0.00'	0.00'
C57	19°29'59"	300.00'	102.10'
C58	23°00'50"	300.00'	120.50'
C59	31°21'38"	100.00'	54.73'
C60	48°53'45"	125.00'	106.67'
C61	35°42'40"	450.00'	83.80'
C62	0°53'25"	200.00'	3.11'
C63	9°39'54"	200.00'	33.74'
C64	37°26'24"	200.00'	130.69'
C65	21°06'35"	200.00'	73.69'
C66	21°45'07"	200.00'	75.35'
C67	52°10'44"	200.00'	182.11'
C68	25°14'58"	400.00'	176.27'
C69	20°57'44"	400.00'	146.34'
C70	18°25'31"	400.00'	128.63'
C71	16°04'11"	400.00'	112.19'
C72	5°22'29"	100.00'	37.52'
C73	86°13'17"	100.00'	150.48'
C74	37°51'13"	100.00'	65.26'
C75	84°18'49"	150.00'	209.73'
C76	62°58'16"	100.00'	109.91'
C77	20°20'29"	800.00'	284.02'
C78	56°32'54"	200.00'	246.74'
C79	28°25'07"	250.00'	124.00'
C80	44°14'07"	450.00'	33.28'
C81	39°47'38"	450.00'	241.85'
C82	44°41'54"	400.00'	351.06'
C83	9°33'29"	400.00'	66.73'
C84	28°09'06"	400.00'	196.54'
C85	22°45'30"	450.00'	176.74'
C86	29°14'21"	450.00'	228.64'
C87	17°32'44"	450.00'	137.80'
C88	69°22'18"	300.00'	316.11'
C89	42°46'29"	300.00'	224.14'
C90	32°21'52"	100.00'	56.49'
C91	61°33'23"	100.00'	107.44'
C92	46°13'27"	175.00'	141.16'
C93	44°51'32"	175.00'	137.01'
C94	15°53'08"	200.00'	55.45'
C95	62°59'15"	200.00'	219.97'
C96	78°35'16"	150.00'	38.60'
C97	84°34'35"	150.00'	221.42'
C98	60°28'47"	100.00'	105.58'
C99	1°30'26"	1200.00'	31.58'
C100	7°58'17"	1200.00'	165.91'

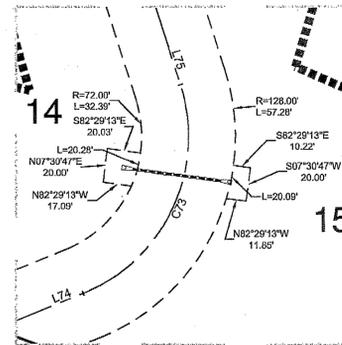
CURVE	DELTA	RADIUS	LENGTH
C101	8°26'51"	1200.00'	176.92'
C102	12°28'25"	706.00'	183.70'
C103	9°58'58"	460.00'	81.71'
C104	3°06'05"	469.00'	26.99'
C105	27°08'50"	469.00'	222.22'
C106	28°29'03"	306.00'	152.13'
C107	31°03'26"	200.00'	108.41'
C108	19°29'59"	300.00'	102.10'
C109	29°51'39"	200.00'	90.27'
C110	22°29'25"	440.00'	112.78'
C111	35°42'40"	450.00'	83.80'
C112	6°37'24"	150.00'	17.34'

SOLITUDE COLORADO RURAL SITE PLAN

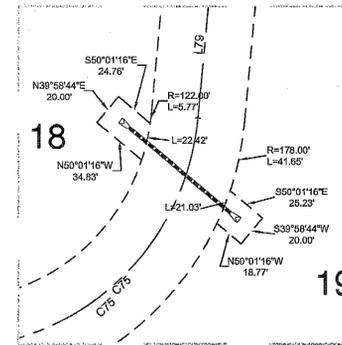
PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
 RANGE 68 WEST AND PORTIONS OF SECTIONS 19 AND 30 OF
 TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL
 MERIDIAN, DOUGLAS COUNTY, COLORADO
 1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
 EX00-012



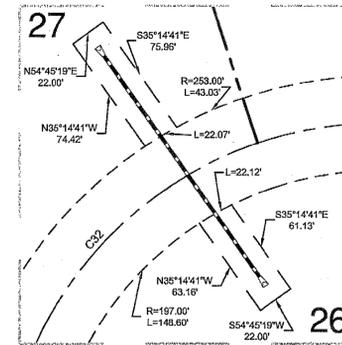
TRACT G
 DRAINAGE EASEMENT
 DETAIL PARCEL 10
 SCALE 1"=50'
 SHEET 11 OF 14



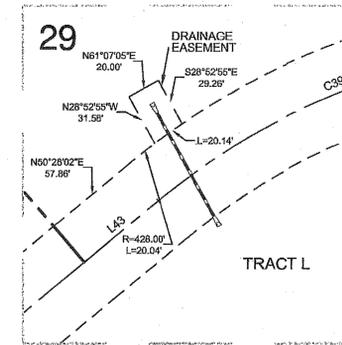
DRAINAGE EASEMENT
 DETAIL PARCELS 14 & 15
 SCALE 1"=50'
 SHEET 10 OF 14



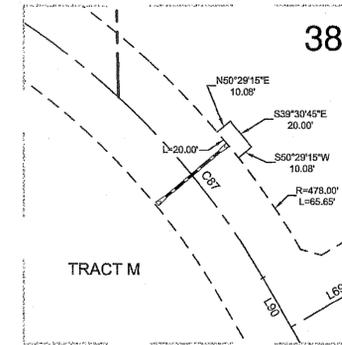
DRAINAGE EASEMENT
 DETAIL PARCELS 18 & 19
 SCALE 1"=50'
 SHEET 10 OF 14



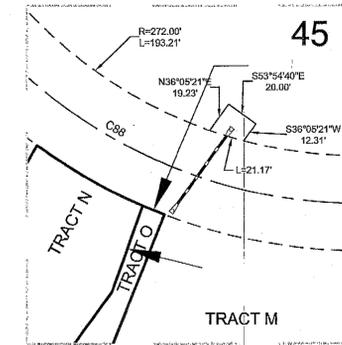
DRAINAGE EASEMENT
 DETAIL PARCELS 26 & 27
 SCALE 1"=50'
 SHEET 9 OF 14



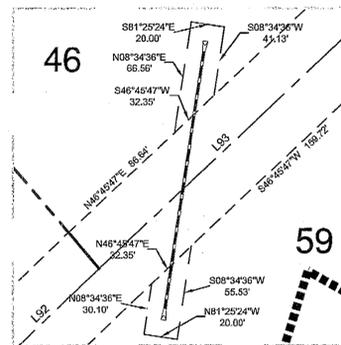
TRACT L
 DRAINAGE EASEMENT
 DETAIL PARCEL 29
 SCALE 1"=50'
 SHEET 9 OF 14



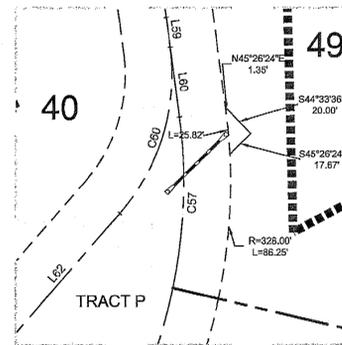
TRACT M
 DRAINAGE EASEMENT
 DETAIL PARCEL 38
 SCALE 1"=50'
 SHEET 10 OF 14



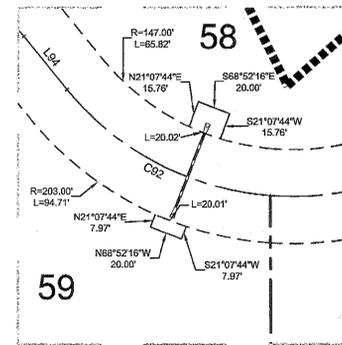
TRACT N
 DRAINAGE EASEMENT
 DETAIL PARCEL 45
 SCALE 1"=50'
 SHEET 10 OF 14



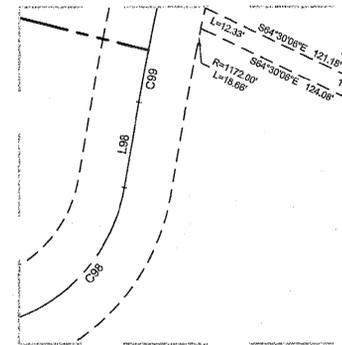
DRAINAGE EASEMENT
 DETAIL PARCELS 46 & 59
 SCALE 1"=50'
 SHEET 10 OF 14



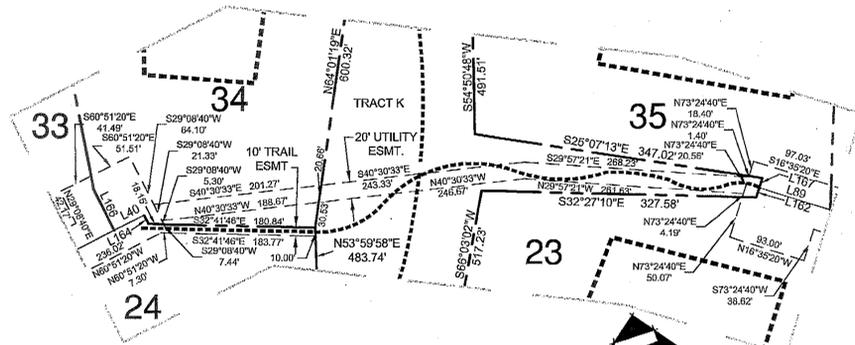
TRACT P
 DRAINAGE EASEMENT
 DETAIL PARCEL 49
 SCALE 1"=50'
 SHEET 10 OF 14



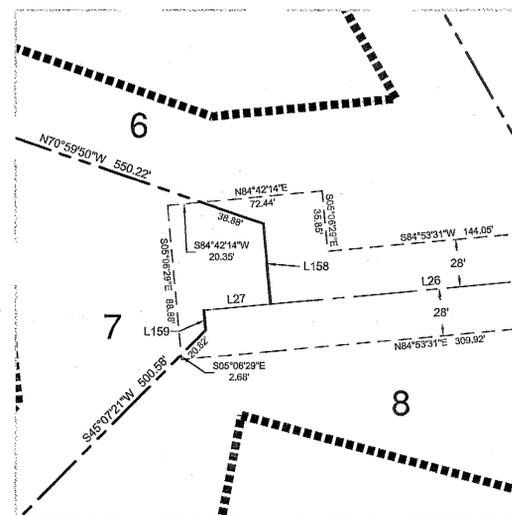
DRAINAGE EASEMENT
 DETAIL PARCELS 58 & 59
 SCALE 1"=50'
 SHEET 10 OF 14



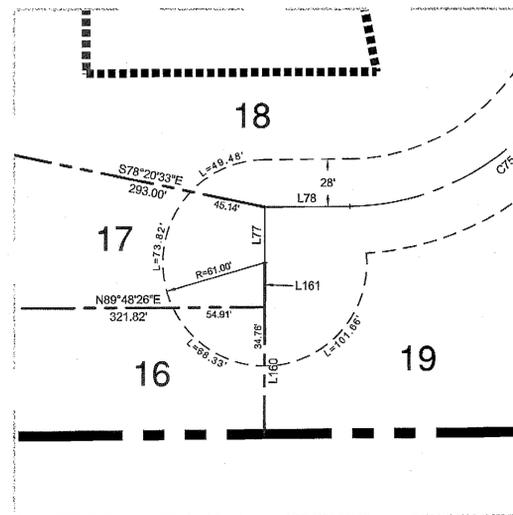
DRAINAGE EASEMENT
 DETAIL PARCEL 62
 SCALE 1"=50'
 SHEET 10 OF 14



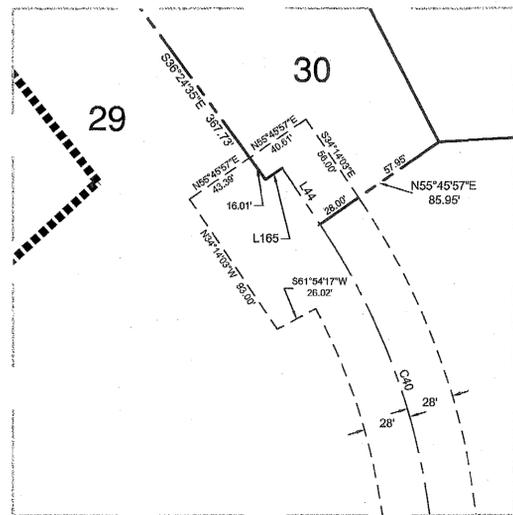
ROADWAY & UTILITY EASEMENTS DETAIL
 PARCELS 23, 24 & 33 - 35 - 19
 SCALE 1"=100'
 SHEET 10 OF 14



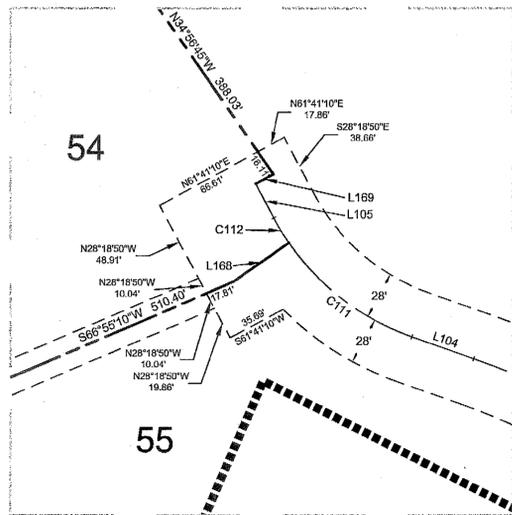
ROADWAY & UTILITY EASEMENT DETAIL
 PARCELS 6 - 8
 SCALE 1"=50'
 SHEET 11 OF 14



ROADWAY & UTILITY EASEMENT DETAIL
 PARCELS 16 - 19
 SCALE 1"=50'
 SHEET 10 OF 14



ROADWAY & UTILITY EASEMENT DETAIL
 PARCELS 29 & 30
 SCALE 1"=50'
 SHEET 10 OF 14



ROADWAY & UTILITY EASEMENT DETAIL
 PARCELS 54 & 55
 SCALE 1"=50'
 SHEET 10 OF 14

APPLICANT:
 CHEROKEE KOELBEL, LLC
 5291 EAST YALE AVENUE
 DENVER, COLORADO 80222

PLANNER:
 DHM DESIGN CORPORATION
 1390 LAWRENCE ST., SUITE 100
 DENVER, COLORADO 80204

ENGINEER/SURVEYOR:
 KIRKHAM MICHAEL
 5600 S. QUEBEC STREET
 SUITE 2000
 ENGLEWOOD, COLORADO 80111

WILDLIFE BIOLOGIST:
 ERO RESOURCES
 1842 CLARKSON STREET
 DENVER, COLORADO 80218

WETLANDS CONSULTANT:
 WESTERN ECOLOGICAL
 RESOURCES
 711 WALNUT STREET
 BOULDER, COLORADO 80302



SOLITUDE COLORADO
 RURAL SITE PLAN
 EASEMENT DETAILS

MAY 31, 2001
 REV: OCTOBER 30, 2001
 REV: JUNE 10, 2002
 REV: AUGUST 23, 2002
 REV: SEPTEMBER 9, 2002
 REV: MARCH 15, 2004

SOLITUDE COLORADO RURAL SITE PLAN

PORTIONS OF SECTIONS 13, 24 AND 25 OF TOWNSHIP 7 SOUTH,
RANGE 68 WEST AND PORTIONS OF SECTIONS 19 AND 30 OF
TOWNSHIP 7 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL
MERIDIAN, DOUGLAS COUNTY, COLORADO
1,110.16 ACRES-64 RESIDENTIAL PARCELS, 16 TRACTS
EX00-012

I. Statement of Purpose

The vision for SOLITUDE COLORADO is of an engaging, residential community that responds to and respects its spectacular natural setting. It is the intent to preserve this setting that will promote and maintain a lifestyle that is based on dramatic views, varying landscapes, natural drainageways, expansive slopes, and most importantly stewardship. This goal can best be implemented by ensuring that buildings and improvements are respectful of the natural attributes that exist on the site. The guidelines and standards have been prepared to serve as guide for creative and sensitive design. Specific design standards and guidelines have been established for PARCELS 30 and 53 as depicted sheet 14 of 14. The Solitude Colorado Design Standards will be enforced by the HOA through the covenants.

II. Site Development

A. Building Orientation

- The siting and design of residential structures shall be designed to blend with the natural terrain in an attempt to minimize grading operations and avoid dominating the land form as viewed from valley floors.
- Building siting shall consider the preservation of privacy of open space, natural amenities, grade differentials and steep slopes of 20% or greater.
- Structures should be oriented to maximize view potential from the site and minimize visual impacts when viewing the site from a distance.
- The building envelopes will serve as the limit of all improvements including structures and proposed landscaping. All driveways and entry/address monuments, utility connections, and facilities/septic tanks shall be excluded from this limitation.

B. Maximum Height of Structures

- The building height shall not exceed thirty-five (35) feet. The base elevation for the height restriction shall be the average elevation of the four main corners of the proposed structure prior to any natural grade disturbance. No portion of any structure, including walls, parapets, cornices etc. may exceed the height limit. Chimneys and vents are excluded from this height limitation. PARCEL 53 shall have additional building height restrictions. See graphic below.

C. Site Grading and Drainage

- Contour grading should be utilized to blend with natural grades. Both blended and variable slopes (3:1 and 4:1) should be employed where possible to restore a natural appearance to the transition between open space and graded areas.
- Grading requirements for any slope should not exceed that of a 3:1 slope, except for critical roadway conditions where other choices do not exist.
- All grade slopes shall be "rolled back" into existing slopes, so that, after revegetation, no sharp contrasts exist between existing and disturbed slopes.
- Driveway alignments shall be considered that minimize the visual and physical impact of the home site by following existing contours and reducing the amount of required grading.
- Grading for septic drain fields shall conform to the natural terrain and may be allowed beyond the building envelope. Finished grades should blend with the natural terrain as soon as possible.
- Natural drainage patterns and features of the property shall be maintained as much as possible.

D. Landscaping and Open Space

- The natural vegetation of the parcels and "no build areas" shall be protected and retained to the maximum extent possible.
- All areas disturbed during construction of private drives, structures, trails and any other disturbances shall be revegetated with native grasses and/or a wildflowers seed mix within 6 months after completion of construction, weather permitting.
- Landscaping of the each parcel and residence shall be the responsibility of the homeowner. The use of indigenous plant materials shall be used where possible.
- Native landscape shall be maintained outside the building envelope.
- The Solitude Colorado Homeowner's Association, Inc., will be established for ownership and maintenance of common property including open space, trails and include common private drives. The owner shall maintain these areas until they are accepted by the Solitude Colorado Homeowner's Association, Inc.

E. Parking

- A minimum of two off street parking spaces, including covered parking within garages or carports, shall be provided per dwelling unit.

III. Site Elements

A. Walls

- Retaining walls shall be comprised of natural stone and/or veneered with split face block or wood.

B. Lighting

- Lighting of structures and grounds shall be permitted for safety, identification, beautification and security purposes only.
- Lighting must be downward directed and shall not cast glare on adjacent properties or roadways.
- Lighting to be used around residences, must be directed onto vegetation, or prominent site features and not upon the building.
- With the exception of main drive and entry monumentation, no lighting will be permitted beyond the limits of the building envelope for safe passage.

C. Signage

- Signs, with the exception of traffic control signs, shall be constructed of natural materials such as wood, masonry, stone or other similar materials.
- Signs will be placed to comply with visual clearance standards.
- Signs, when illuminated, will be from externally mounted or concealed light sources with no flashing or moving parts. Lights shall not cast glare on adjacent properties or roadways.

D. Storage and Trash

- Storage of boats, campers and other recreational vehicles at residential units is not permitted, with the exception of those stored within a garage or enclosed structure.
- Trash containers shall be kept within an enclosed structure.

IV. Architectural Treatment

The architectural character of the structures shall be harmonious with the surrounding environment. To accomplish this goal the following minimum architectural standards and design guidelines have been developed.

A. Architectural Design

- The architectural design of buildings should consider the site, relationship to other structures, scenic views and climatic orientation.
- Structures with long uninterrupted exterior walls should be avoided. Walls should have varied forms to create shadows, providing relief that can "soften" the architecture.
- Buildings along community edges should provide variety in elevations with differing setbacks and varied orientation.
- Architectural solutions such as terraced or downhill unit designs should be encouraged to minimize the amount of grading.

B. Building Massing and Forms

- The form of the roof and the materials used on it create a significant part of the visual impact of a structure. Roof flashing, rain gutters and down spouts, vents and other roof protrusions should be finished to compliment the adjacent materials, colors and textures.
- All buildings should project a minimum of three (3) distinct masses on each elevation. The horizontal and vertical offsets should be no less than two (2) feet.

C. Building Materials

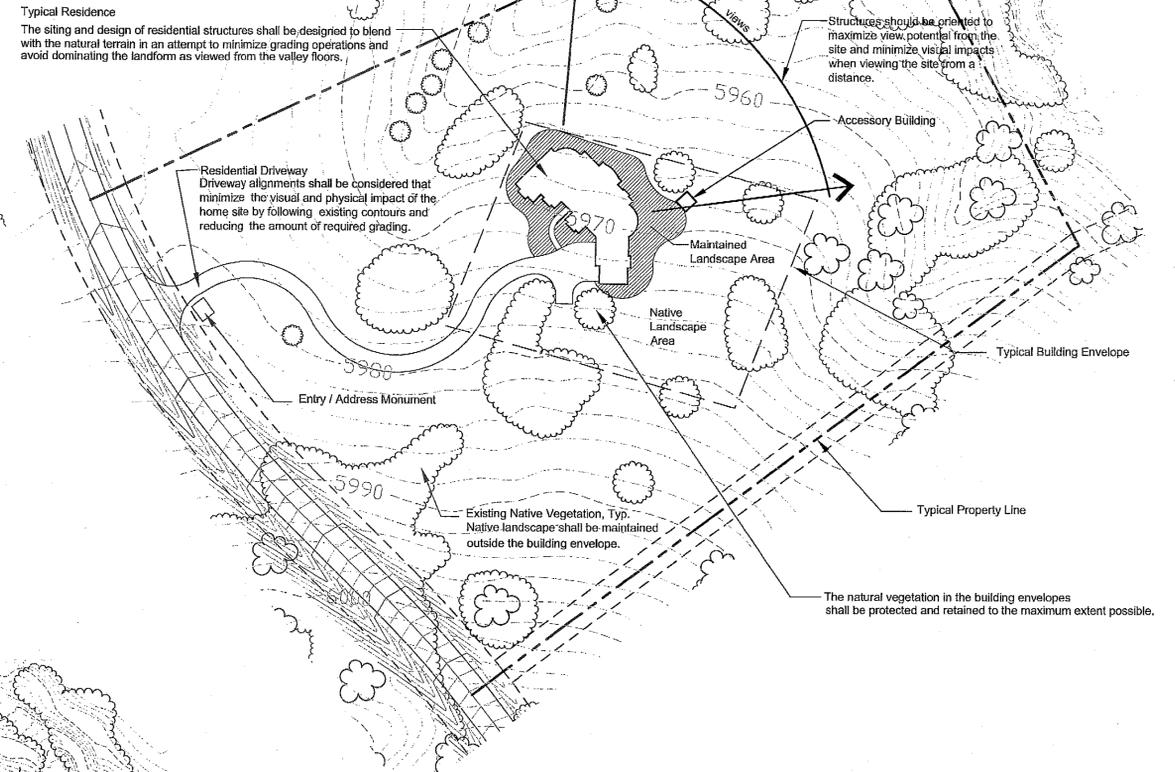
- The predominant material used on each house shall be noncombustible.
- All facade materials may be natural wood siding (treated), masonry, stone, synthetic stucco or similar materials.

D. Colors

- Predominant exterior finishes shall be in warm earth tones such as grey, green, brown, beige, muted blues or reds, or other similar colors. White, primary colors, and other bright colors shall be permitted as accent colors only.
- Predominant building colors shall have a light reflective value of 40% or less regardless of the material or type.

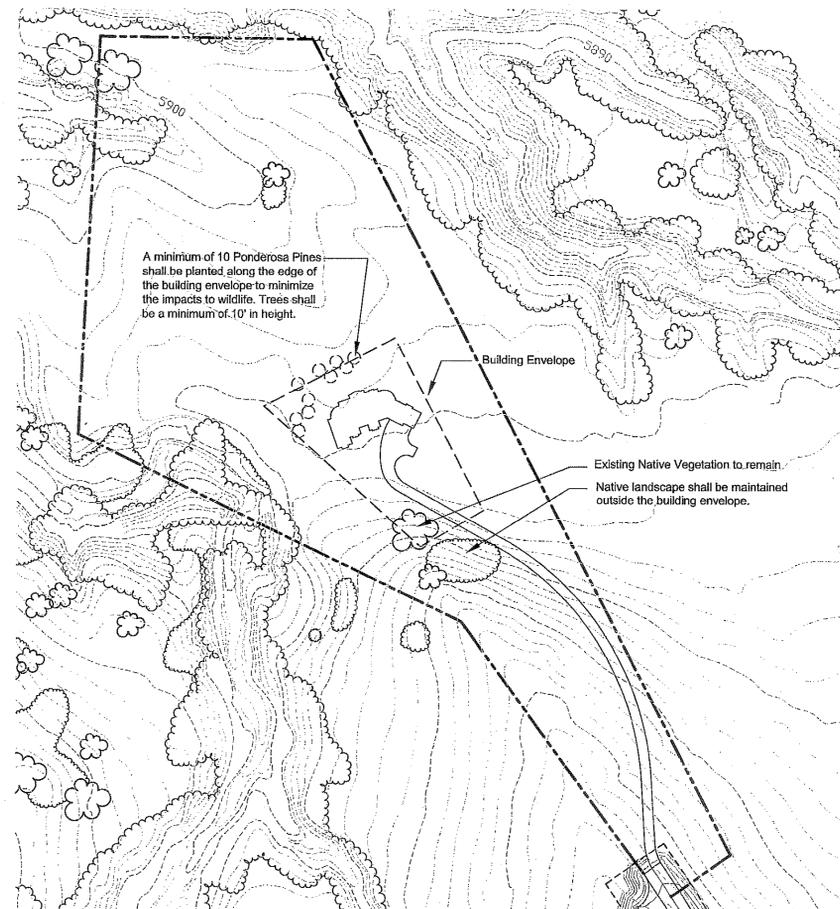
Typical Residence

The siting and design of residential structures shall be designed to blend with the natural terrain in an attempt to minimize grading operations and avoid dominating the landform as viewed from the valley floors.



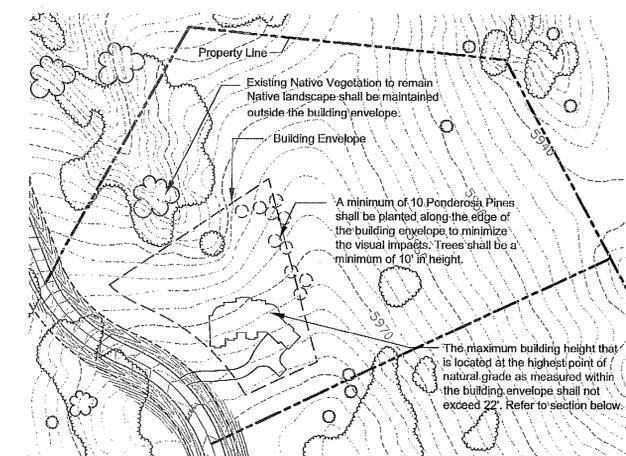
Typical Residential Site Plan

1"=60'-0"



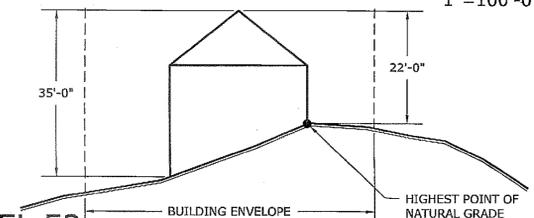
PARCEL 30

1"=100'-0"



PARCEL 53

1"=100'-0"



DATE: MAY 31, 2001
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BOULDER, COLORADO 80302

SOLITUDE COLORADO
RURAL SITE PLAN
DESIGN STANDARDS

SHEET 14 OF 14